

April 15, 2025

Sent via email

Dear Mount View Colquitz Community Association:
hamill@island.net

Re: Application for Development:

Applicant: ISLAND VIEW LAND MANAGEMENT LTD.
Site Address: 816 CLOVERDALE AVE
3311 OAK ST
Legal: LOT 1 SECTION 7 VICTORIA DISTRICT PLAN 16796 EXCEPT
PART IN PLAN 3705 RW.
SECTION 7 VICTORIA DISTRICT PLAN 778 PARCEL A, LOT 18 -
20.
Folder No.: DPR01084
Description: TO REZONE FROM C-6UD TO A NEW ZONE TO CONSTRUCT
TWO RESIDENTIAL TOWERS FOR 467 UNITS WITH RETAIL AT
GRADE AND TWO LEVELS OF UNDERGROUND PARKING

The District of Saanich has received an application for a site within your Community Association area. The Planning Department is referring the proposed plans and relevant information to your Community Association for review and comment. Please note that requested variances may be subject to change based on the Planners detailed review of the file.

In a written letter or email to planning@saanich.ca, please provide your comments and indicate if your Community Association:

- ☐ Support the application
- ☐ Object to the application
- ☐ Have no position on the application


Additional Comments:

We would appreciate receiving your comments by May 14, 2025, so that they can be included in the package that will be forwarded to Council. If you cannot meet this timeframe, please email or call our office to indicate if and when you might be able to respond to the referral.

If you require further information about the proposed development please contact ANDREA PICKARD Planner at andrea.pickard@saanich.ca

It is suggested that you periodically check our website, www.saanich.ca Permit and Development Tracker as any revised site plans for this application will be posted there.

Sincerely,



REFERRAL FORM

Blue Beam Session #879-270-633

Application No. <input checked="" type="checkbox"/> DPR – DPR01084 <input type="checkbox"/> DPA – <input type="checkbox"/> DVP – <input checked="" type="checkbox"/> REZ – REZ00789 <input type="checkbox"/> TUP –	Referral date: April 8, 2025 Comments due by: May 7, 2025 File Manager: ANDREA PICKARD Applicant: ISLAND VIEW LAND MANAGEMENT LTD. Owner: Oak Cloverdale Holdings Ltd. Site address: 816 CLOVERDALE AVE 3311 OAK ST														
External Referrals: <input checked="" type="checkbox"/> Ministry of Transportation <input type="checkbox"/> Observatory (5 km radius) <input checked="" type="checkbox"/> BC Transit <input checked="" type="checkbox"/> School District # 61 <input type="checkbox"/> School District # 63 <input checked="" type="checkbox"/> Community Association MVCCA <input type="checkbox"/> Peninsula Ag Advisory Comm (PAAC) <input checked="" type="checkbox"/> Adjacent CA - QCHCA	Legal: LOT 1 SECTION 7 VICTORIA DISTRICT PLAN 16796 EXCEPT PART IN PLAN 3705 RW. SECTION 7 VICTORIA DISTRICT PLAN 778 PARCEL A, LOT 18 - 20. Current Zone: C-6UD Proposed Zone: TBD Current OCP designation: Uptown Core Required OCP amendment: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No DP Area: Uptown Core														
Internal Referrals: <input checked="" type="checkbox"/> Plan Check (LAP) <input checked="" type="checkbox"/> Environment <input checked="" type="checkbox"/> Parks <input checked="" type="checkbox"/> Development Services <input checked="" type="checkbox"/> Housing <input type="checkbox"/> Planning Subdivision Tech <input type="checkbox"/> Police <input type="checkbox"/> Committee <input type="checkbox"/> Neighbouring Jurisdictions <input type="checkbox"/>	Land Comments	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">SDPA</td> <td style="width: 10%;">Yes <input type="checkbox"/></td> <td style="width: 10%;">No <input checked="" type="checkbox"/></td> </tr> <tr> <td>Heritage</td> <td>Yes <input type="checkbox"/></td> <td>No <input type="checkbox"/></td> </tr> <tr> <td>ALR</td> <td>Yes <input type="checkbox"/></td> <td>No <input type="checkbox"/></td> </tr> <tr> <td>FIDP</td> <td>Yes <input type="checkbox"/></td> <td>No <input type="checkbox"/></td> </tr> </table>	SDPA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Heritage	Yes <input type="checkbox"/>	No <input type="checkbox"/>	ALR	Yes <input type="checkbox"/>	No <input type="checkbox"/>	FIDP	Yes <input type="checkbox"/>	No <input type="checkbox"/>	Sign Posting Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Project Description: TO REZONE FROM C-6UD TO A NEW ZONE TO CONSTRUCT TWO RESIDENTIAL TOWERS FOR 467 UNITS WITH RETAIL AT GRADE AND TWO LEVELS OF UNDERGROUND PARKING Project Description Reviewed/Updated <input checked="" type="checkbox"/> Planners Initials
SDPA	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>													
Heritage	Yes <input type="checkbox"/>	No <input type="checkbox"/>													
ALR	Yes <input type="checkbox"/>	No <input type="checkbox"/>													
FIDP	Yes <input type="checkbox"/>	No <input type="checkbox"/>													
Departments and Agencies: <i>Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to planning@saanich.ca.</i>															
Name:															
Title:		Phone:													
Date:		E-mail:													
Response: <input type="checkbox"/> Support – see comments below <input type="checkbox"/> Object – see comments below <input type="checkbox"/> No position – see comments below															

District of Saanich



1:2,000



District of Saanich
4/8/2025 3:14:20 PM

This map is for general information purposes
and should not be considered authoritative for
any purpose. Accuracy, currency and precision
are not guaranteed.



Recommended Nursery Stock

ID	Quantity	Botanical Name	Common Name	Size
On Site Total: 35				
		Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	1.5m ht.
		Betula papyrifera	Paper Birch	6cm Ca
		Cercidiphyllum japonicum	Katsura Tree	6cm Ca
		Cercis canadensis	Eastern Redbud	6cm Ca
		Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm Ca
		Prunus x yedoensis	Yoshino Cherry Blossom	6cm Ca
Off Site Total: 13				
		Street Trees - Species to be determined by the City of Victoria Parks Dept.		
Large Shrubs				
Total: 31				
		Botanical Name	Common Name	Size
		Arbutus unedo 'Compacta'	Compact Strawberry Bush	#5 pot
		Cornus stolonifera 'Flaviramea'	Yellowtwig Dogwood	#5 pot
		Taxus x media 'Hicksii'	Hicks Yew	1.2m ht.
Medium Shrubs				
Total: 154				
		Botanical Name	Common Name	Size
		Escallonia x exoniensis 'Pink Princess'	Pink Princess Escallonia	#5 pot
		Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 pot
		Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	#5 Pot
		Lavandula angustifolia 'Hidcote Blue'	English Lavender	#5 pot
		Rhododendron macrophyllum	Pacific Rhododendron	#5 Pot
		Rhododendron Nancy Evans	Nancy Evans Rhododendron	#5 pot
Small Shrubs				
Total: 386				
		Botanical Name	Common Name	Size
		Cornus stolonifera 'Kelseyi'	Kelsey Dogwood	#1 pot
		Mahonia nervosa	Low Oregon Grape	#1 pot
		Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#1 pot
Perennials, Annuals and Ferns				
Total: 1630				
		Botanical Name	Common Name	Size
		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
		Carex 'Ice Dance'	Variiegated Sedge	#1 pot
		Echinacea purpurea 'Magnus'	Purple Coneflower	#1 pot
		Fetuca glauca	Common Blue Fescue	#1 pot
		Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 pot
		Polystichum munitum	Sword Fern	#1 Pot
Vines				
Total: 5				
		Botanical Name	Common Name	Size
		Hydrangea anomala petiolaris	Climbing Hydrangea	#10 pot

PLANTING PALETTE

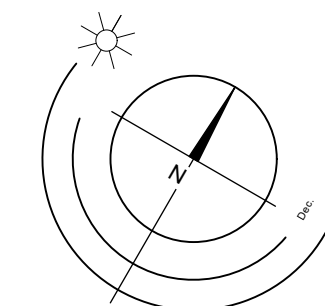


PRECEDENT IMAGES



L1 - Landscape Concept | Oak & Cloverdale

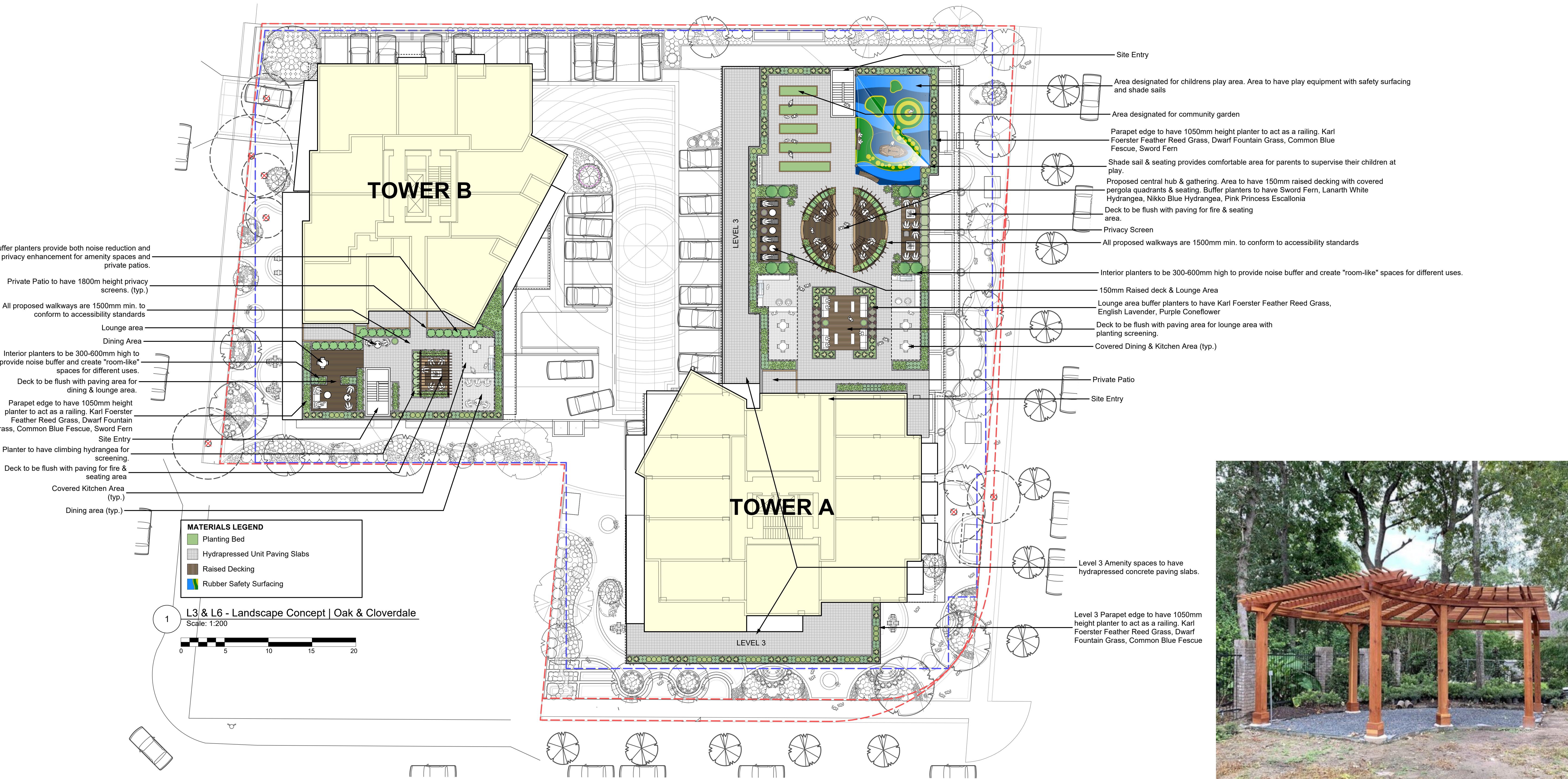
RECEIVED
April 3, 2025
PLANNING DEPT.
DISTRICT OF SAANICH



LADR LANDSCAPE ARCHITECTS

Project No: 2410 03-05-2025

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105



Buffer planters provide both noise reduction and privacy enhancement for amenity spaces and private patios.

Private Patio to have 1800mm height privacy screens. (typ.)

All proposed walkways are 1500mm min. to conform to accessibility standards

Lounge area

Dining Area

Interior planters to be 300-600mm high to provide noise buffer and create "room-like" spaces for different uses.

Deck to be flush with paving area for dining & lounge area.

Parapet edge to have 1050mm height planter to act as a railing. Karl Foerster Feather Reed Grass, Dwarf Fountain Grass, Common Blue Fescue, Sword Fern

Site Entry

Planter to have climbing hydrangea for screening.

Deck to be flush with paving for fire & seating area

Covered Kitchen Area (typ.)

Dining area (typ.)

Site Entry

Area designated for childrens play area. Area to have play equipment with safety surfacing and shade sails

Area designated for community garden

Parapet edge to have 1050mm height planter to act as a railing. Karl Foerster Feather Reed Grass, Dwarf Fountain Grass, Common Blue Fescue, Sword Fern

Shade sail & seating provides comfortable area for parents to supervise their children at play.

Proposed central hub & gathering. Area to have 150mm raised decking with covered pergola quadrants & seating. Buffer planters to have Sword Fern, Lanarth White Hydrangea, Nikko Blue Hydrangea, Pink Princess Escallonia

Deck to be flush with paving for fire & seating area.

Privacy Screen

All proposed walkways are 1500mm min. to conform to accessibility standards

Interior planters to be 300-600mm high to provide noise buffer and create "room-like" spaces for different uses.

150mm Raised deck & Lounge Area

Lounge area buffer planters to have Karl Foerster Feather Reed Grass, English Lavender, Purple Coneflower

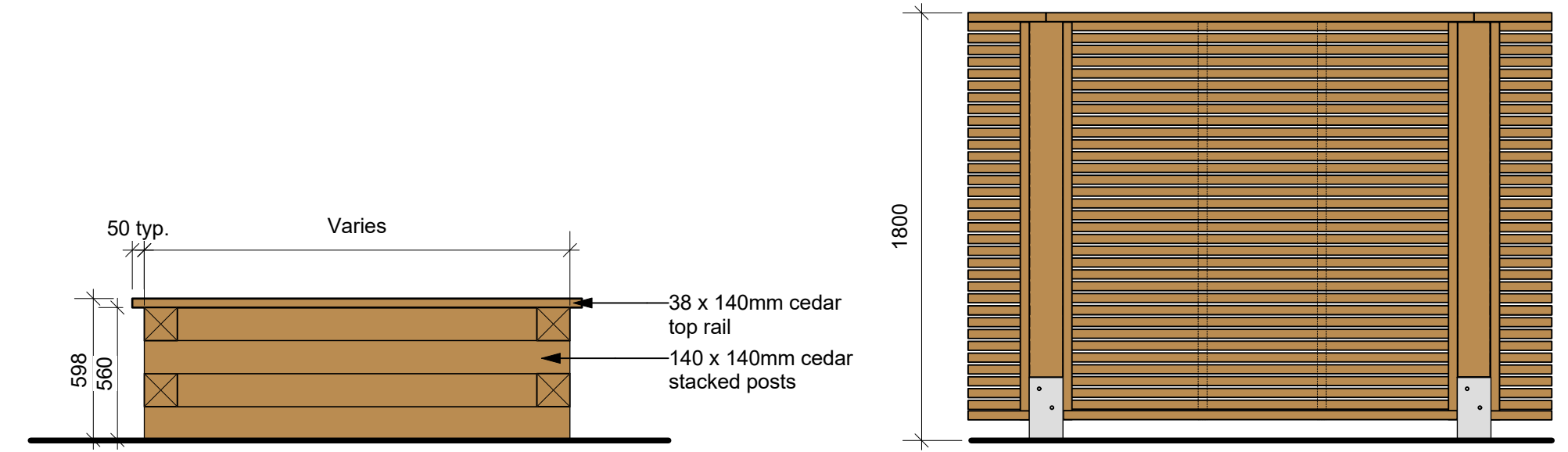
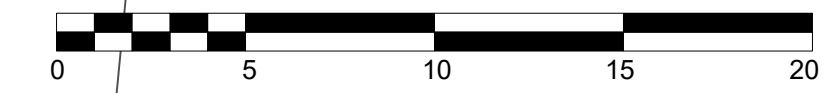
Deck to be flush with paving area for lounge area with planting screening.

Covered Dining & Kitchen Area (typ.)

MATERIALS LEGEND

- Planting Bed
- Hydrapressed Unit Paving Slabs
- Raised Decking
- Rubber Safety Surfacing

1 L3 & L6 - Landscape Concept | Oak & Cloverdale
Scale: 1:200



2 Cedar Community Planters
Scale: 1:25

3 1800mm ht. Wood Privacy Screen
Scale: 1:25



Covered Pergola Quadrant



Shade Sails Over Playground Area



Community Garden

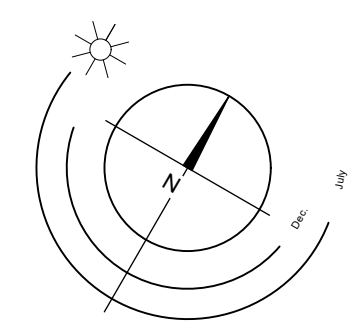


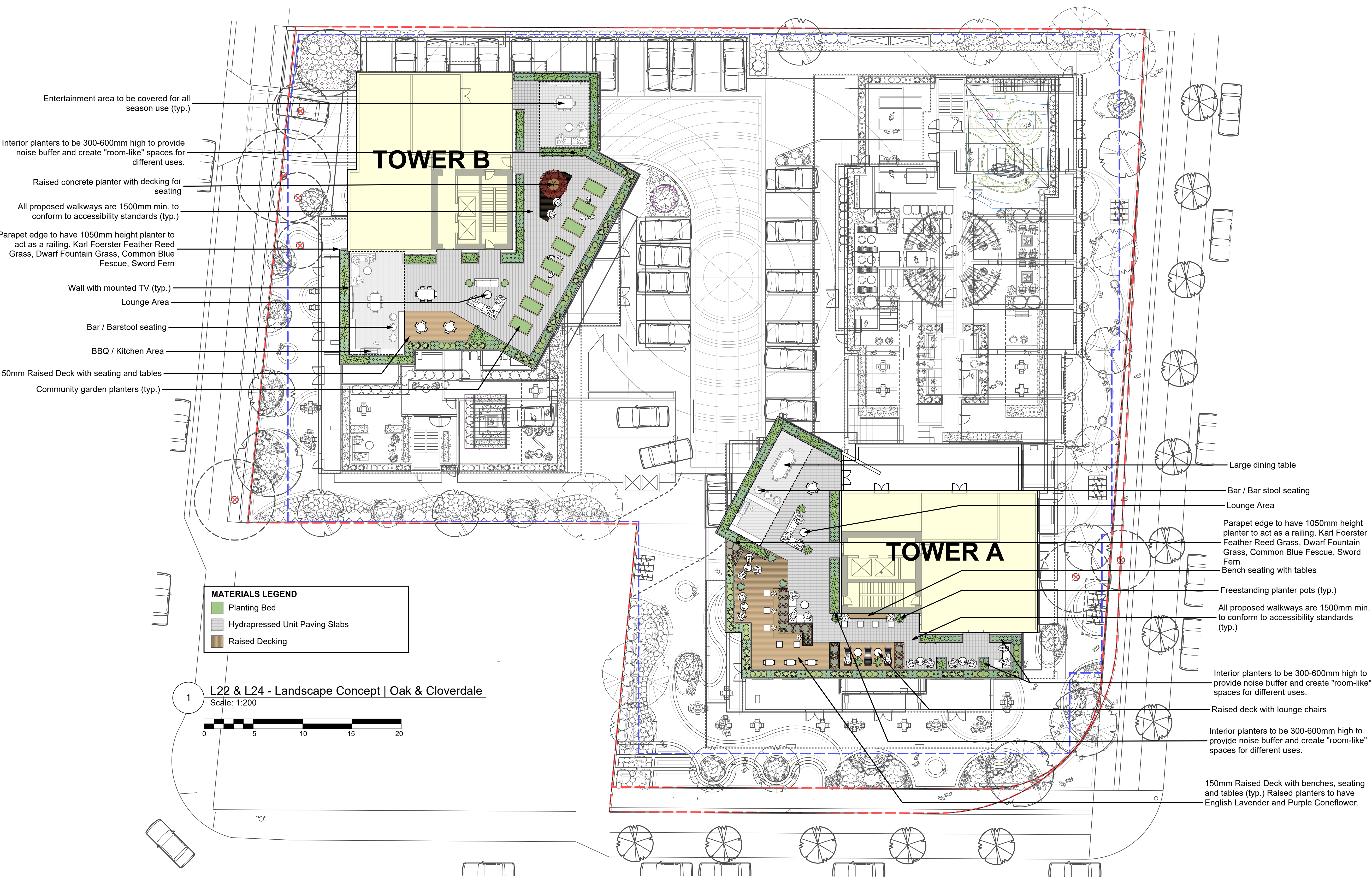
Playground Area with Safety Surfacing



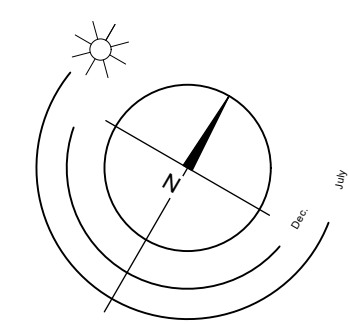
Covered Kitchen & Dining Area

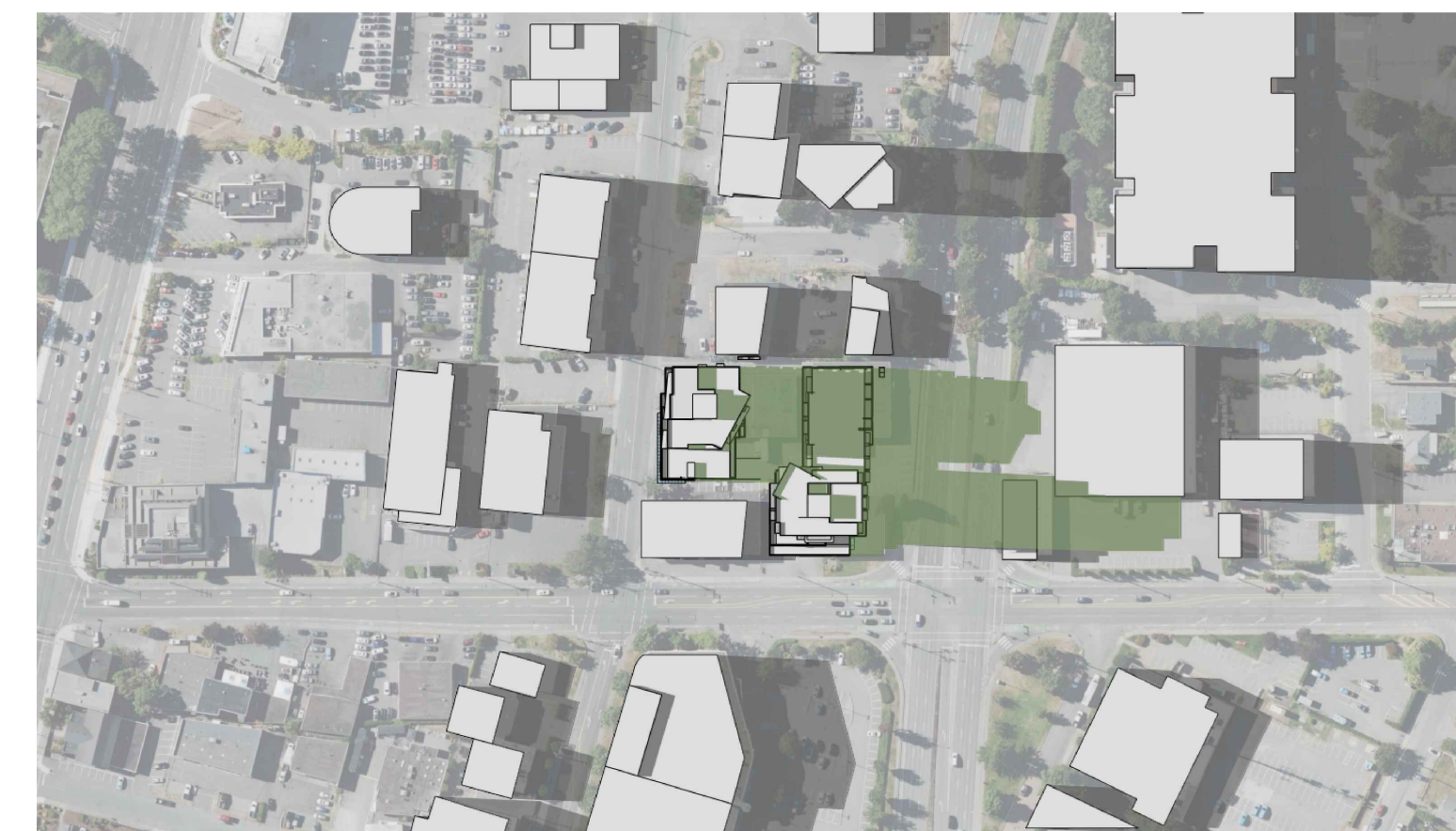
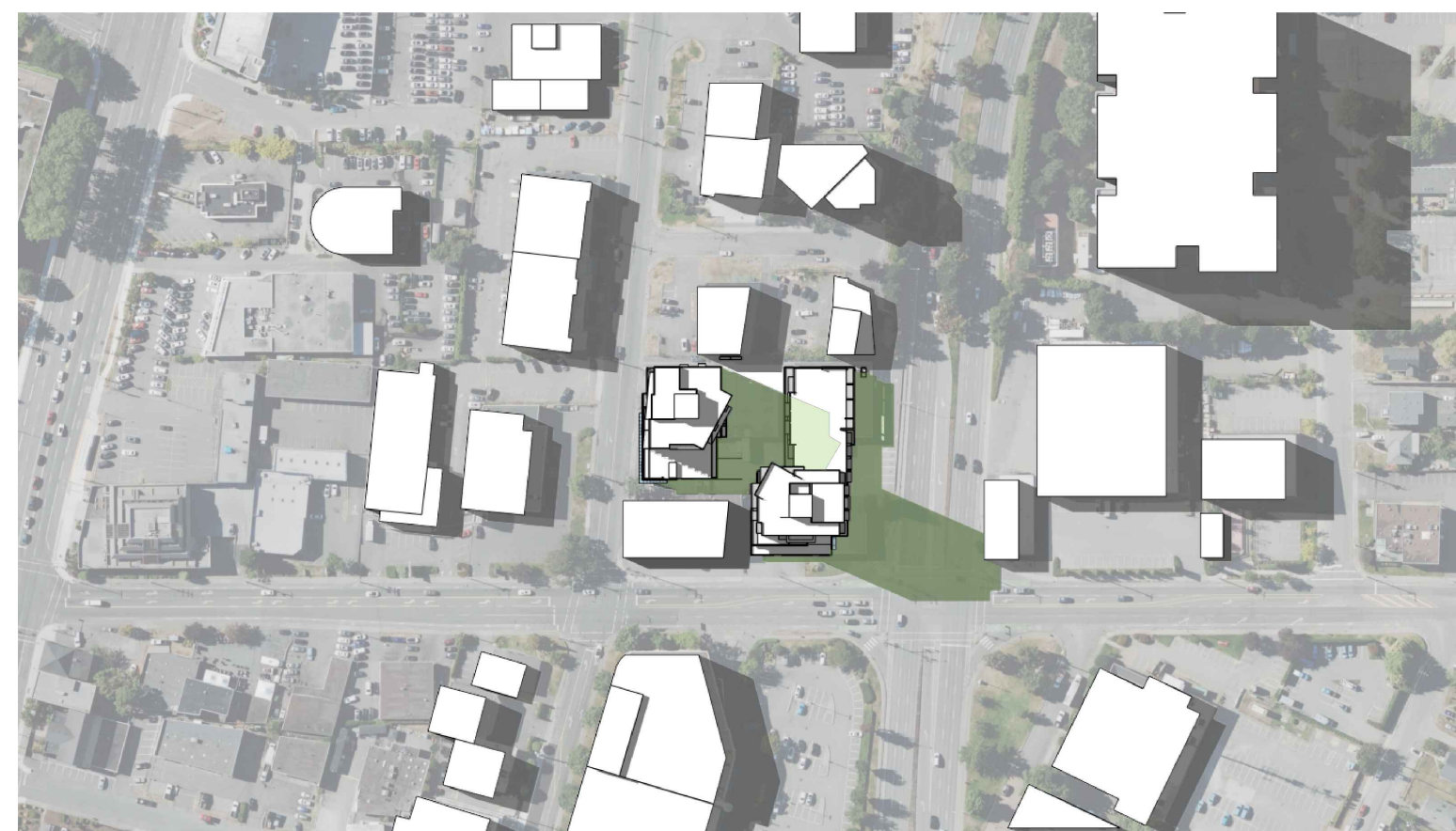
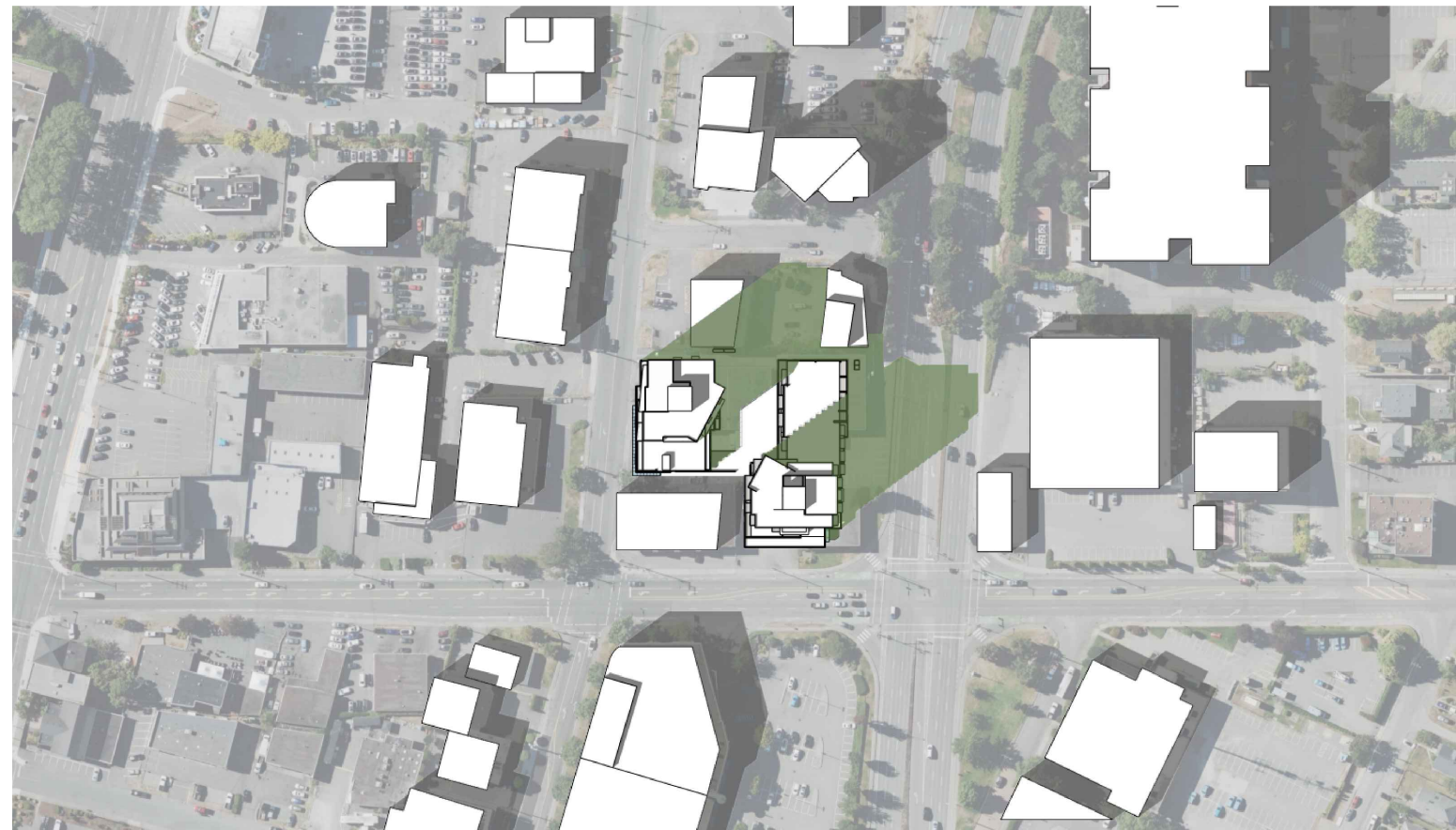
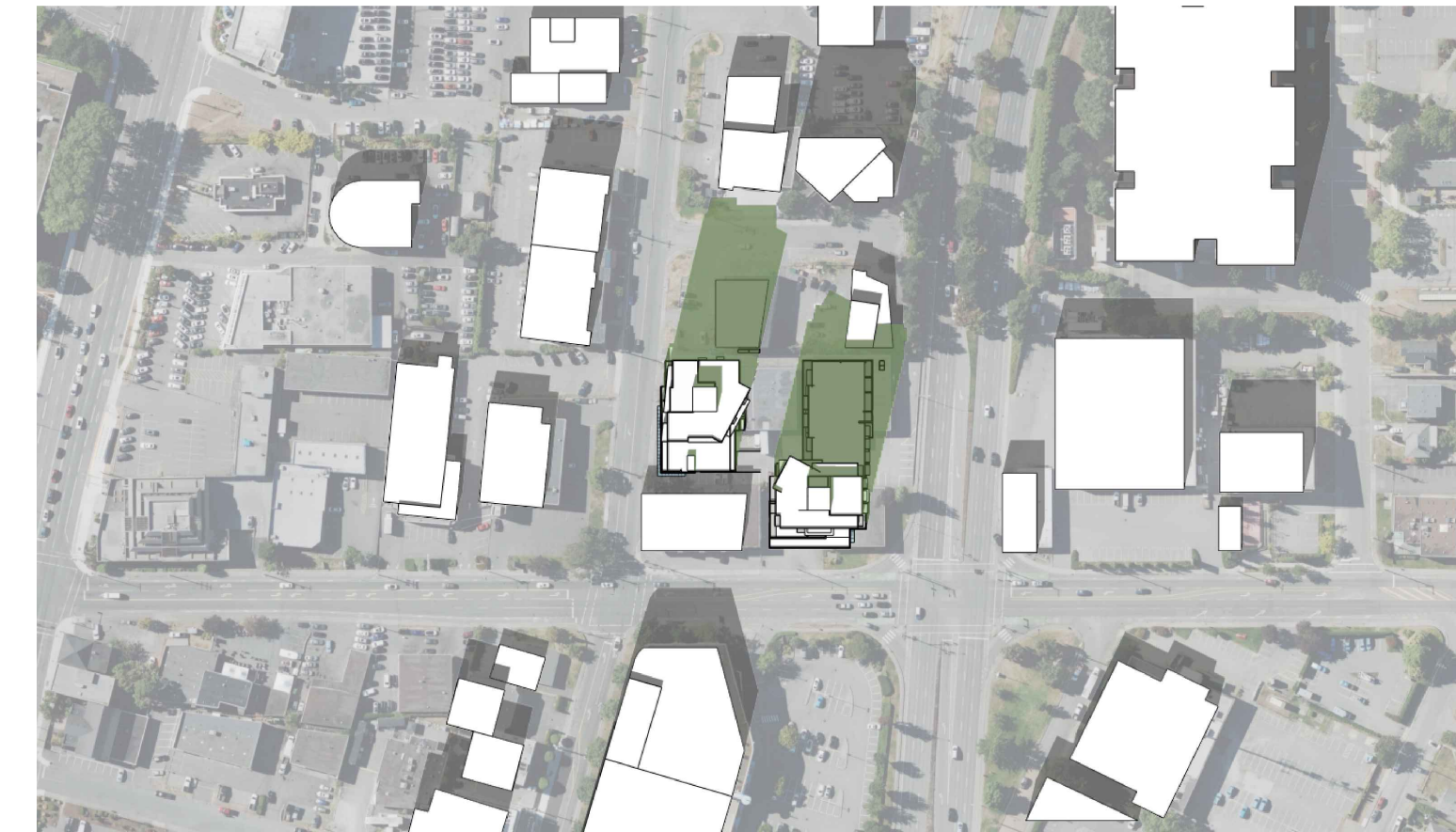
L3 & L6 - Landscape Concept | Oak & Cloverdale



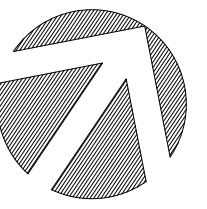


L22 & L24 - Landscape Concept | Oak & Cloverdale

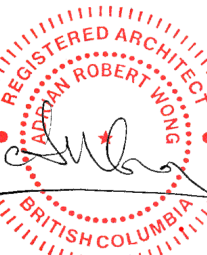




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ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

[illegible]

2025-03-05

CONSULTANT:

PROJECT ADDRESS:

SHADOW ANALYSIS

PROJECT NO: 24037

DWG NO:

DRAWN BY: CP

REVIEW BY: AW

A060

NORTH ARROW:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

GENERAL NOTES:

[illegible]

SEAL:



2025-03-05

CONSULTANT:

**WA
ARCHITECTS**

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
816 CLOVERDALE AVE.

PROJECT ADDRESS:
816 CLOVERDALE AND 3316 OAK STREET,
SAANICH, BC

DRAWING TITLE:

**BLDG. ELEVATION FROM
ADJACENT NW PROPERTY**

PROJECT NO: 24037

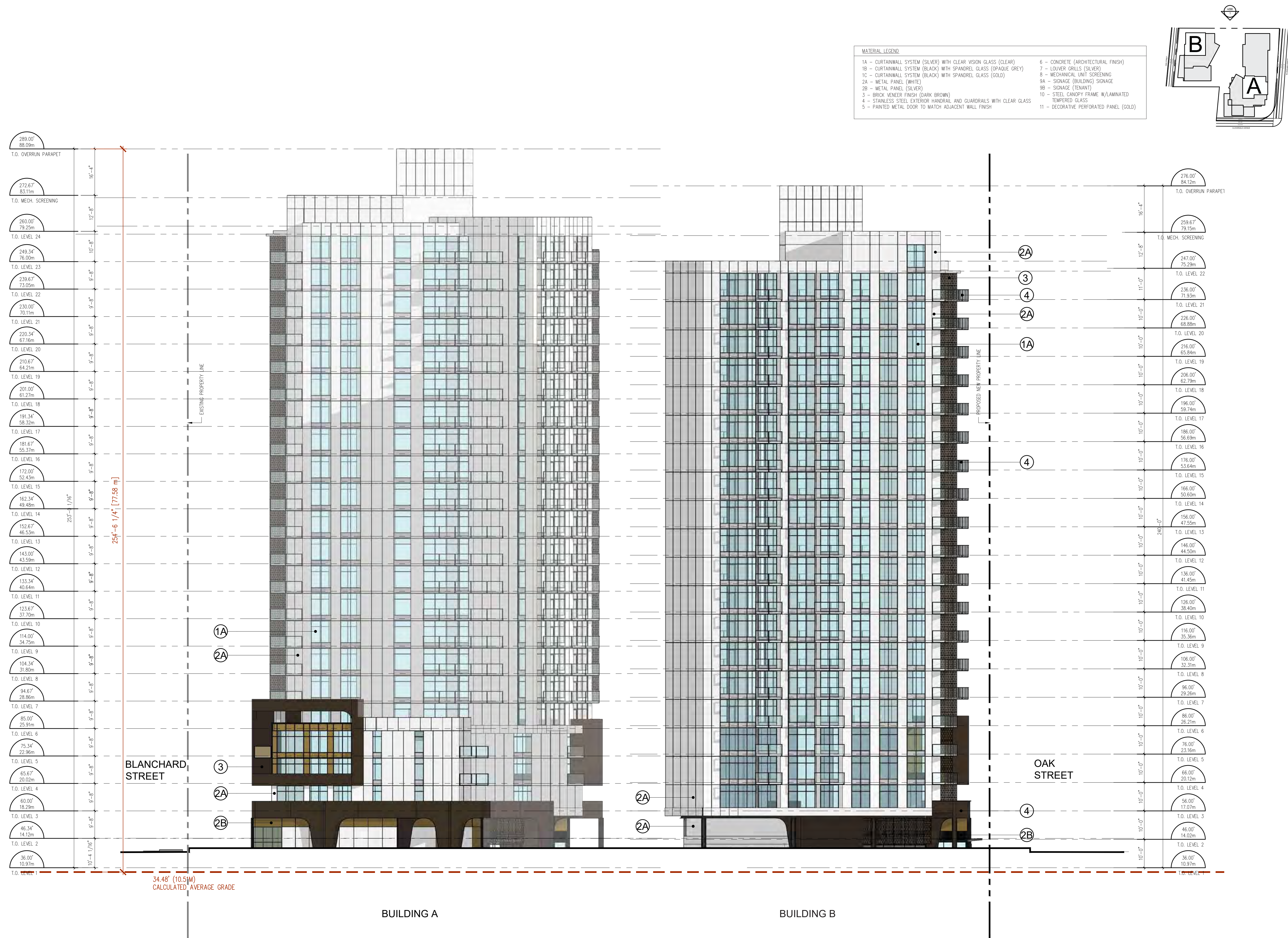
DRAWN BY: LO,WZ

SCALE: 1/16"=1'-0"

REVIEW BY: AW

DWG NO:

A300



1 BLDG. ELEVATION FROM ADJACENT NW PROPERTY
A300 1/16"=1'-0"

NORTH ARROW:

OWNER/CLIENT:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

GENERAL NOTES:

[illegible]

SEAL:



2025-03-05

CONSULTANT:

WAA ARCHITECTS

PROJECT NAME

816 CLOVERDALE AVE.

PROJECT ADDRESS:

316 CLOVERDALE AND 3316 OAK STREET,
SAANICH, BC

DRAWING TITLE

**BLDG. ELEVATION
ALONG BLANSHARD ST.**

PROJECT NO: 24037

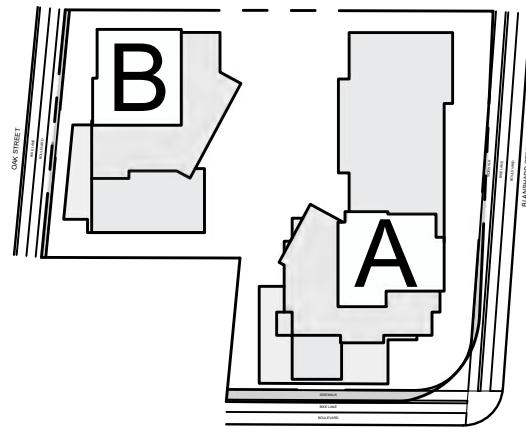
DRAWN BY: LO.WZ

SCALE: 1/16"=1'-0'

REVIEW BY: AW

DWG NO:

A301



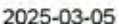
MATERIAL LEGEND	
1A - CURTAINWALL SYSTEM (SILVER) WITH CLEAR VISION GLASS (CLEAR)	6 - CONCRETE (ARCHITECTURAL FINISH)
1B - CURTAINWALL SYSTEM (BLACK) WITH SPANDREL GLASS (OPAQUE GREY)	7 - LOUVER GRILLS (SILVER)
1C - CURTAINWALL SYSTEM (BLACK) WITH SPANDREL GLASS (DARK GREY)	8 - MECHANICAL UNIT SCREENING
2A - METAL PANEL (WHITE)	9A - SIGNAGE (BUILDING) SIGNAGE
2B - METAL PANEL (SILVER)	9B - SIGNAGE (TENANT)
3 - DARK VISION GLASS (DARK BROWN)	10 - STEEL CARRY FRAME W/LAMINATED TEMPERED GLASS
4 - STAINLESS STEEL EXTERIOR HANDRAIL AND GUARDRAILS WITH CLEAR GLASS	11 - DECORATIVE PERFORATED PANEL (GOLD)
5 - PAINTED METAL DOOR TO MATCH ADJACENT WALL FINISH	



1 BLDG. ELEVATION ALONG BLANSHARD STREET
A301 1/16"=1'-0"

NORTH ARROW:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

[illegible]SEAL:

LWA ARCHITECTS

816 CLOVERDALE AVE.

816 CLOVERDALE AND 3316 OAK STREET,
SAANICH, BC

**BLDG. ELEVATION ALONG
CLOVERDALE AVE.**

REVIEW BY: AW

A302


$$1/16'' = 1' - 0''$$

NORTH ARROW:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

CONSULTANT:

IWA ARCHITECTS

816 CLOVERDALE AVE.

**816 CLOVERDALE AND 3316 OAK STREET ,
SAANICH, BC**

**BLDG. ELEVATION
ALONG OAK STREET**

DWG NO:

A303



NORTH ARROW:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

[illegible]

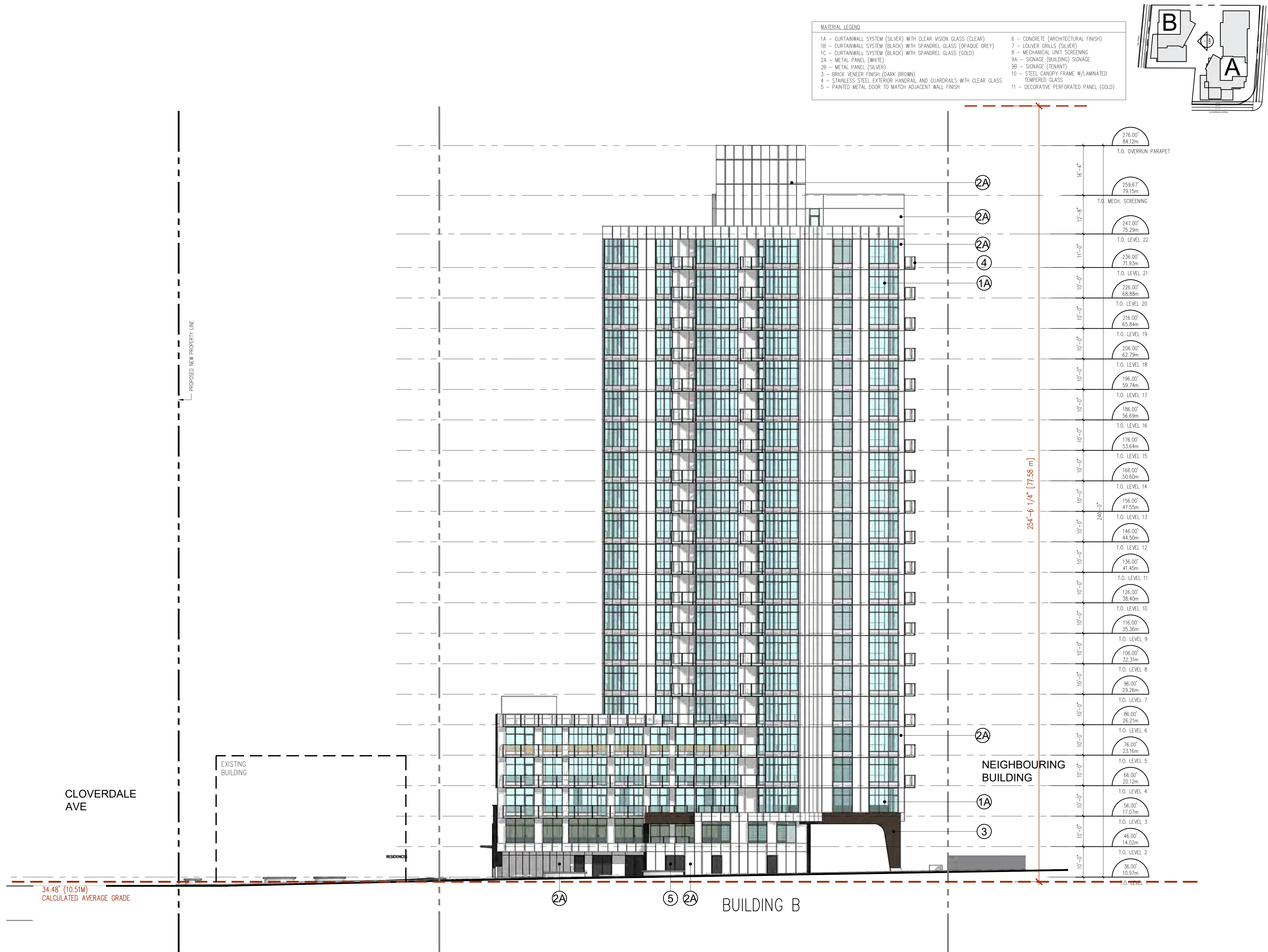
CONSULTANT:

LWA ARCHITECTS

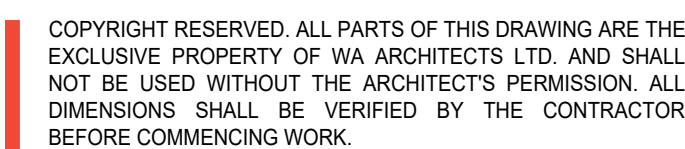
PROJECT NAME:
816 CLOVERDALE AVE.

DRAWING TITLE:
**BLDG. B NORTHEAST
ELEVATION**

PROJECT NO: 24037 DRAWN BY: LO,WZ
SCALE: 1/16"=1'-0" REVIEW BY: AW
DWG NO: **A304**



1 BLDG. B NORTHEAST ELEVATION
A.304 1/16"=1'-0"



NORTH ARROW:

OWNER/CLIENT:

ISLAND VIEW LAND
MANAGEMENT,
FOR GAIN GROUP

GENERAL NOTES:

[illegible]

SEAL:



CONSULTANT:

LWA ARCHITECTS

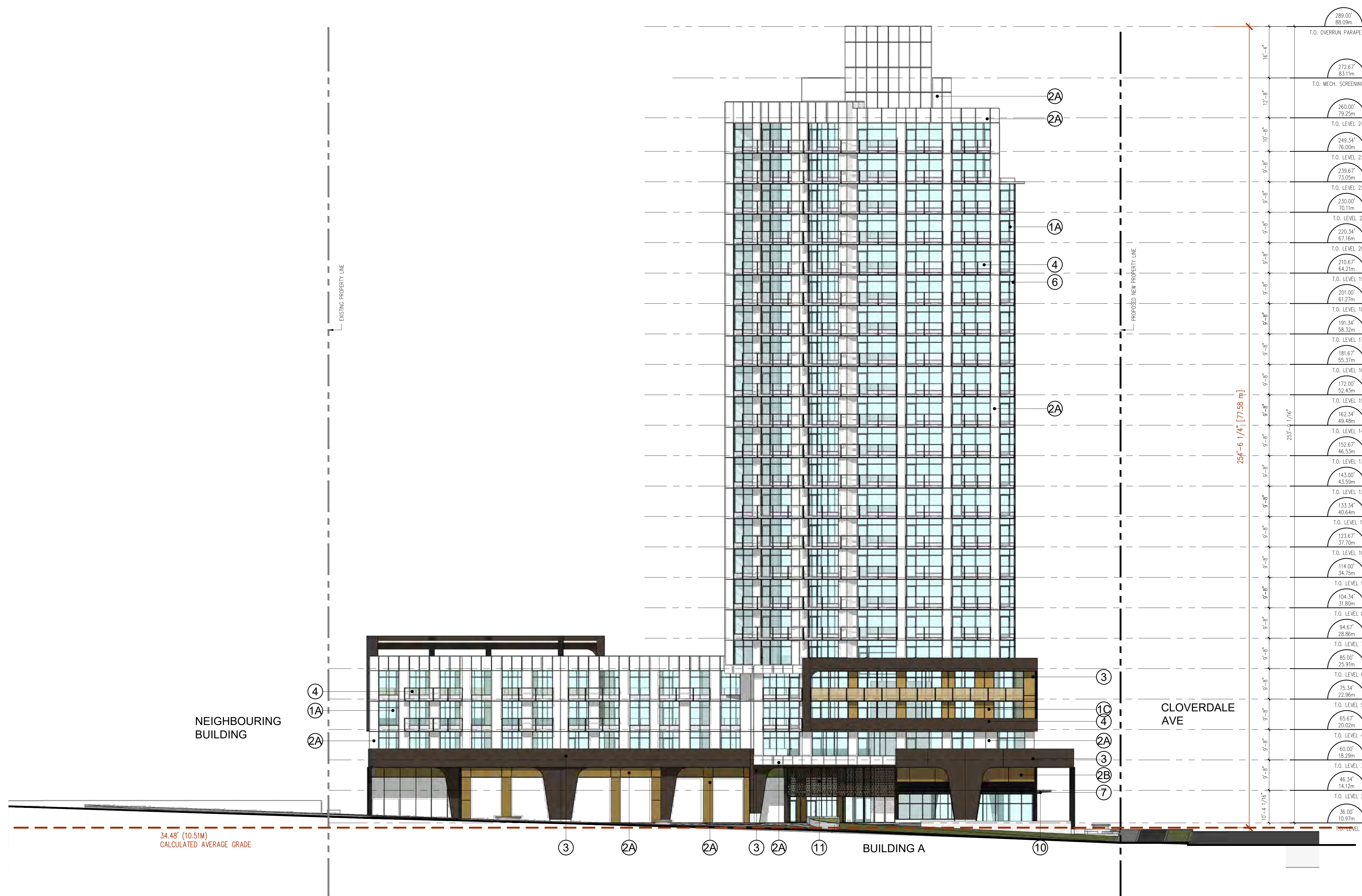
VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
816 CLOVERDALE AVE.

PROJECT ADDRESS:
816 CLOVERDALE AND 3316 OAK STREET ,
SAANICH, BC

DRAWING TITLE:
**BLDG. A SOUTHWEST
ELEVATION**

PROJECT NO: 24037 DRAWN BY: LO,WZ
SCALE: 1/16"=1'-0" REVIEW BY: AW
DWG NO: **A305**



1 BLDG. A SOUTHWEST ELEVATION
A303 1/16"=1'-0"