



December 3, 2024

Sent via email

Dear Mount View Colquitz Community Association:

Re: Application for Development:

Applicant: RLA ARCHITECTS
Site Address: 81 CADILLAC AVE
83 CADILLAC AVE
85 CADILLAC AVE
89 CADILLAC AVE
95 CADILLAC AVE
3691 WASCANA ST
Legal: LOT 17 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
LOT 16 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
LOT 15 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
LOT 14 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
LOT 13 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
LOT 12 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877
Folder No.: DPR01075
Description: CONSOLIDATION OF SIX RS-6 LOTS TO CONSTRUCT 104 MULTI FAMILY UNITS

The District of Saanich has received an application for a site within your Community Association area. The Planning Department is referring the proposed plans and relevant information to your Community Association for review and comment. Please note that requested variances may be subject to change based on the Planners detailed review of the file.

In a written letter or email to planning@saanich.ca, please provide your comments and indicate if your Community Association:

- Support the application
- Object to the application
- Have no position on the application

Additional Comments:

We would appreciate receiving your comments by December 30, 2024, so that they can be included in the package that will be forwarded to Council. If you cannot meet this timeframe, please email or call our office to indicate if and when you might be able to respond to the referral.

If you require further information about the proposed development please contact THOMAS KEMPSTER Planner at Thomas.kempster@saanich.ca.

It is suggested that you periodically check our website, www.saanich.ca *Permit and Development Tracker* as any revised site plans for this application will be posted there.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas K...". The signature is stylized and includes a long horizontal flourish extending to the right.

Planner

TK/lb

District of Saanich
 Current Planning
 770 Vernon Ave.
 Victoria BC V8X 2W7

t. 250-475-5471
 f. 250-475-5430
 saanich.ca



REFERRAL FORM – PRIORITY (NON-MARKET)

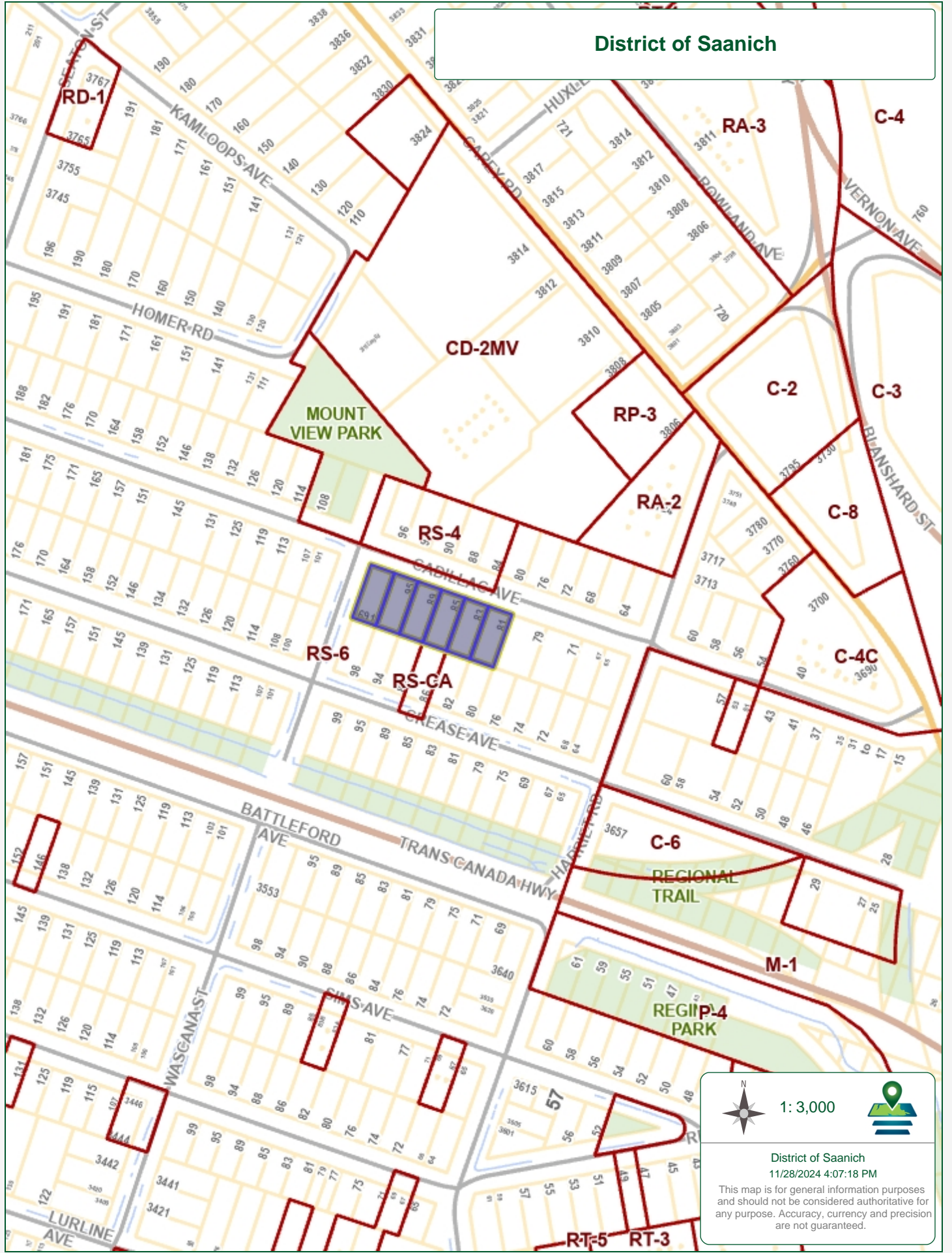
*3 week
 Turn around*

Application No. <input checked="" type="checkbox"/> DPR01075 <input type="checkbox"/> DPA – <input type="checkbox"/> DVP – <input type="checkbox"/> REZ – <input type="checkbox"/> TUP –	Referral date: November 29, 2024		
	Comments due by: December 20, 2024		
	File Manager: THOMAS KEMPSTER		
	Applicant: RLA ARCHITECTS		
	Owners: BEADALL, J; LE, THEM; METIVIER, S; NGO, C; RANKIN, J; WICKS, R Site address: 81 CADILLAC AVE 83 CADILLAC AVE 85 CADILLAC AVE 89 CADILLAC AVE 95 CADILLAC AVE 3691 WASCANA ST		
External Referrals:	Legal: LOT 17 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877		
<input type="checkbox"/> Ministry of Transportation	LOT 16 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 15 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 14 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 13 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 12 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877		
<input type="checkbox"/> Observatory (5 km radius)	Current Zone: RS-6		
<input checked="" type="checkbox"/> BC Transit	Proposed Zone: RAPID DEPLOYMENT		
<input checked="" type="checkbox"/> School District # 61	Current OCP designation: PRIMARY GROWTH AREA (UPTOWN CORE)		
<input type="checkbox"/> School District # 63	Required OCP amendment: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<input checked="" type="checkbox"/> Community Association (MVCCA)	DP Area: SAANICH GENERAL		
<input type="checkbox"/> Peninsula Ag Advisory Comm (PAAC)			
Internal Referrals:	Land Comments	SDPA Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Plan Check (LAP)		Heritage Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Environment		ALR Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Parks		FIDP Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<input checked="" type="checkbox"/> Development Services	Sign Posting Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
<input checked="" type="checkbox"/> Housing	Project Description:		
<input type="checkbox"/> Planning Subdivision Tech	CONSOLIDATION OF SIX RS-6 LOTS TO CONSTRUCT 104		
<input type="checkbox"/> Police	NON-MARKET HOUSING UNITS WITH UNDERGROUND		
<input type="checkbox"/> Committee	PARKING		
<input type="checkbox"/> Neighbouring Jurisdictions			
<input type="checkbox"/>	Project Description Reviewed/Updated	<input checked="" type="checkbox"/>	Planners Initials TK

Departments and Agencies:

Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to planning@saanich.ca.

District of Saanich



1:3,000



District of Saanich
11/28/2024 4:07:18 PM

This map is for general information purposes and should not be considered authoritative for any purpose. Accuracy, currency and precision are not guaranteed.



DATA TABLE INFORMATION

Owner & Designer/Architect
 Owner: Aboriginal Land Trust Society, 2750 Rupert Street, Vancouver V5M 3T7 c/o Andrew Jones
 Architect: RLA Architects, 1656 W 8th Ave, Vancouver BC, V6J 1V4 c/o Greg Voute

Civil & Legal Address
 Civil: 3691 Wascana St & 95, 89, 85, 83, 81 Cadilliac Avenue, Saanich, BC
 Legal: Lots 12 - 14, Section 14 & 24, and Lots 15 - 17, Section 24, All of Victoria District, Plan 877

Project Description
 This project is a 6-storey wood framed building on 1 level of parking. It includes 104 affordable rental housing units with 52 parking stalls and 142 bicycle parking stalls. The site is located at the corner of Cadillac Avenue and Wascana Street in the Uptown-Douglas Area of the Saanich Core.

Site Area & Site Coverage

Site Area Pre-Dedication GROSS:	3,133.53 m ²	33,729 sf
Site Area NET:	3,125.81 m ²	33,646 sf
Site Coverage (Building)	1,445.57 m ²	15,560 sf
Site Coverage (Parkade)	2,132.50 m ²	22,954 sf

Total Floor Area & FSR

Total Floor Area NET	7151.8 m ²	76,981 sf
Total Floor Area GROSS	8573.5 m ²	92,284 sf
FSR (GROSS)	2.74	

Setbacks and Projections

Building Setbacks

Front Lot line - North	4.00 m	13.12 ft
Exterior Side Lot line - West	5.28 m	17.32 ft
Rear Lot Line - South	7.50 m	24.60 ft
Side Lot Line - East	7.32 m	24.01 ft

Building Projections from Property Line

Front Lot line - North	0.95 m	3.13 ft
Front Entrance Canopy		
Exterior Side Lot line - West	3.45 m	11.33 ft
Top of Parkade Above Natural Grade		
Rear Lot Line - South	3.83 m	12.57 ft
Top of Parkade Above Natural Grade		
Side Lot Line - East	4.07 m	13.35 ft
Top of Parkade Above Natural Grade		

Number of Units & Tenure

1 Bedroom	39 Units	38%
2 Bedroom	41 Units	39%
3 Bedroom	24 Units	23%
TOTAL	104 Units	

Tenure: 100% of units are Affordable Rental Tenure

Parking Requirements & Calculations

Parking Requirements:

Residential Stalls	1.5 cars/unit	156.0 stalls
Visitor Stalls	0.3 cars/unit	31.2 stalls
Total Stalls	1.8 cars/unit	187.2 stalls
Accessible Stalls		2 stalls - incl. above
Small Car Stalls	35% max	65.52 stalls - incl. above
Class 1 Bicycle Parking		104 stalls
Class 2 Bicycle Parking		6 stalls

Parking Proposed:

Residential Stalls	0.45 cars/unit	47 stalls
Visitor Stalls	0.05 cars/unit	5 stalls
Total Stalls	0.5 cars/unit	52 stalls
Accessible Stalls		3 stalls - incl. above
Small Car Stalls	19%	10 stalls - incl. above
Class 1 Bicycle Parking		136 stalls
Class 2 Bicycle Parking		6 stalls

Requested Relaxation for Parking Rates

Building Height: 21.30 m / 69.86 ft

Total Impervious Surface Area: 2,505.0 m² / 26,964 sf / 80%

Open Space Ratio: 91 m² / 974 sf / 0.029

Variations Requested
 Parking requirement relaxation requested. Propose provided 0.5 stalls per unit including visitor parking.
 Loading requirement relaxation requested. Proposed to remove loading bay on site.



June 21st, 10:00 A.M.



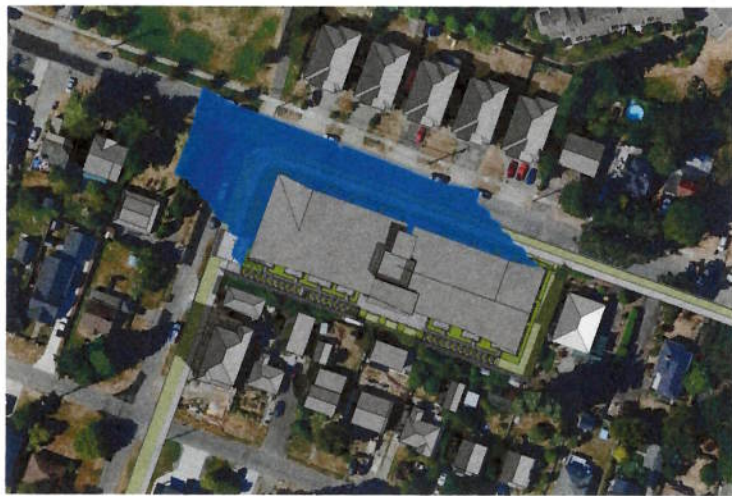
June 21st, 12:00 P.M.



June 21st, 2:00 P.M.



June 21st, 4:00 P.M.



March/Sept 21st, 10:00 A.M.



March/Sept 21st, 12:00 P.M.



March/Sept 21st, 2:00 P.M.



March/Sept 21st, 4:00 P.M.



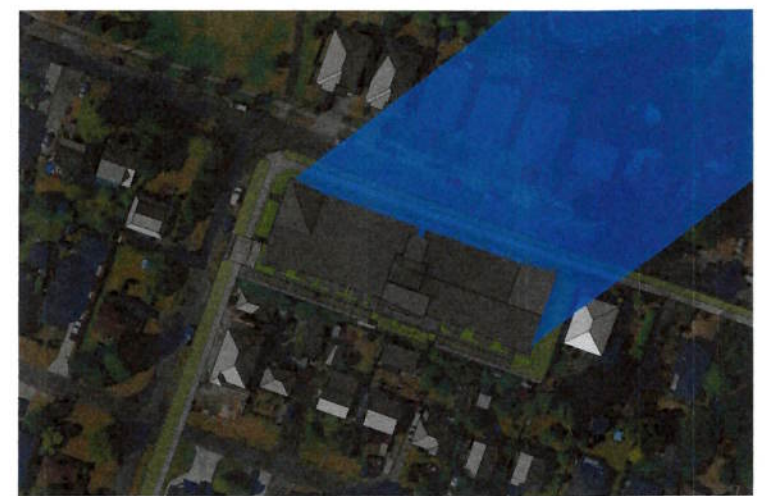
December 21st, 10:00 A.M.



December 21st, 12:00 P.M.



December 21st, 2:00 P.M.



December 21st, 4:00 P.M.



Overall North Elevation

1 : 125

RECEIVED
 Nov 25, 2024
 PLANNING DEPT.
 DISTRICT OF SAANICH

SK-1.20
 Aboriginal Land Trust



Overall East & West Elevations

1 : 125

RECEIVED
 Nov 25, 2024
 PLANNING DEPT.
 DISTRICT OF SAANICH

SK-1.21
 Aboriginal Land Trust



Overall South Elevation

1 : 125

RECEIVED
 Nov 25, 2024
 PLANNING DEPT.
 DISTRICT OF SAANICH

SK-1.22
 Aboriginal Land Trust



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Wood-pattern Fibre Cement Board
Woodtone Summer Wheat with colour matched fasteners
- 3 **Fascia & Bellyband: Dark**
High Density Fibre Cement Board
Benjamin Moore 1603 "Graphite"
- 4 **Window Trim: Light**
High Density Fibre Cement Board, Smooth
Benjamin Moore OC-57 "White Heron"
Colour matched trims & screw fasteners
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Pinhead Tempered Glass (Obscure)
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- 13 **Stone Cladding**
Pangaea Natural Stone.
Ledgestone, "Black Rundle" w/ 1/2" Medium Gray Mortar Joints
- 14 **Architectural Concrete**
Exposed Concrete or Elastomeric Paint
Benjamin Moore Pigeon Gray 2133-50
- 15 **Windows - Aluminum**
Aluminum Frames, Double Glazed, Thermally Broken.
Colour: Charcoal Frames
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Sills: Precast Concrete. Clear Sealed
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- 17 **Mechanical Screening**
Aluminum Fence Type Screen.
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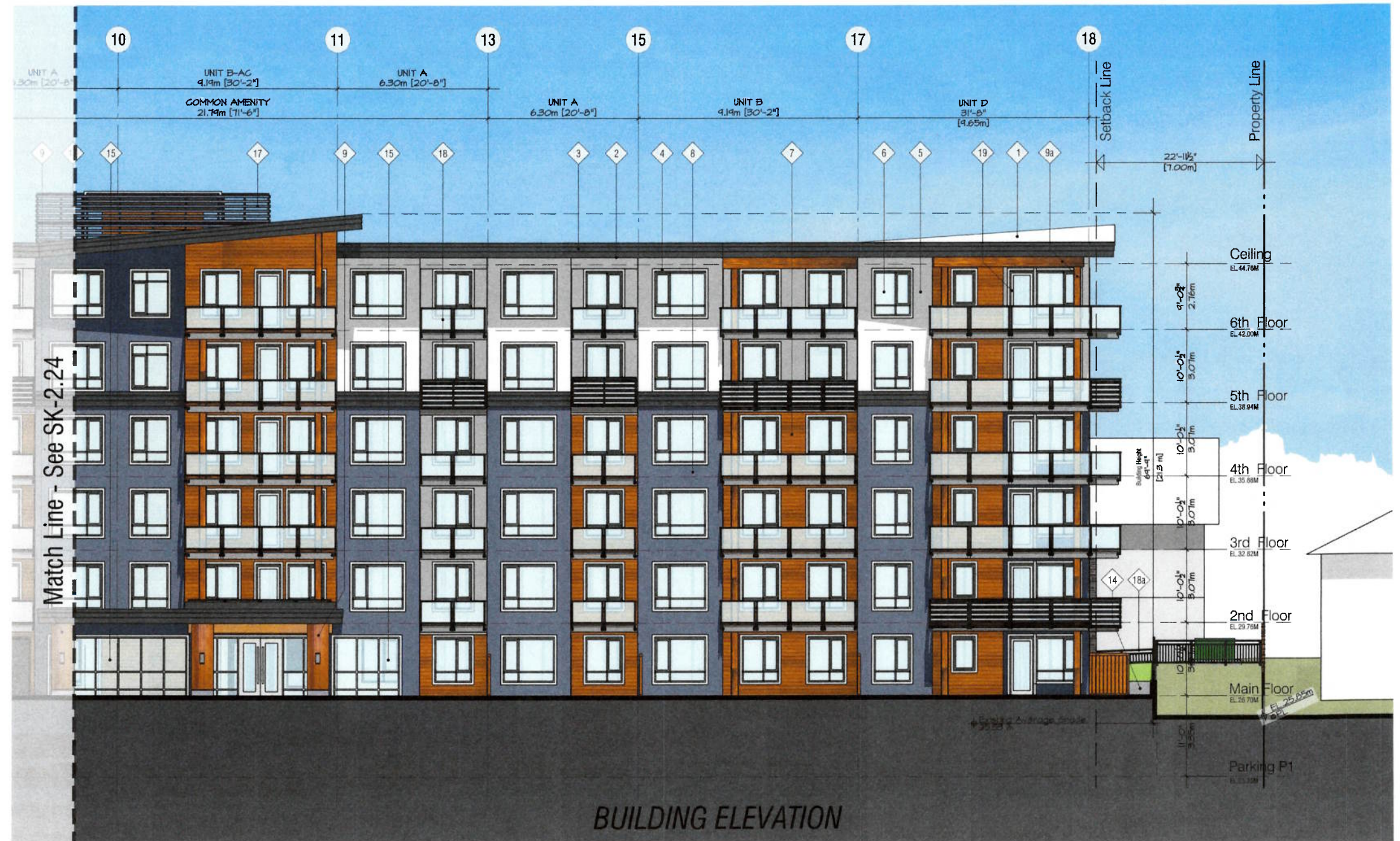
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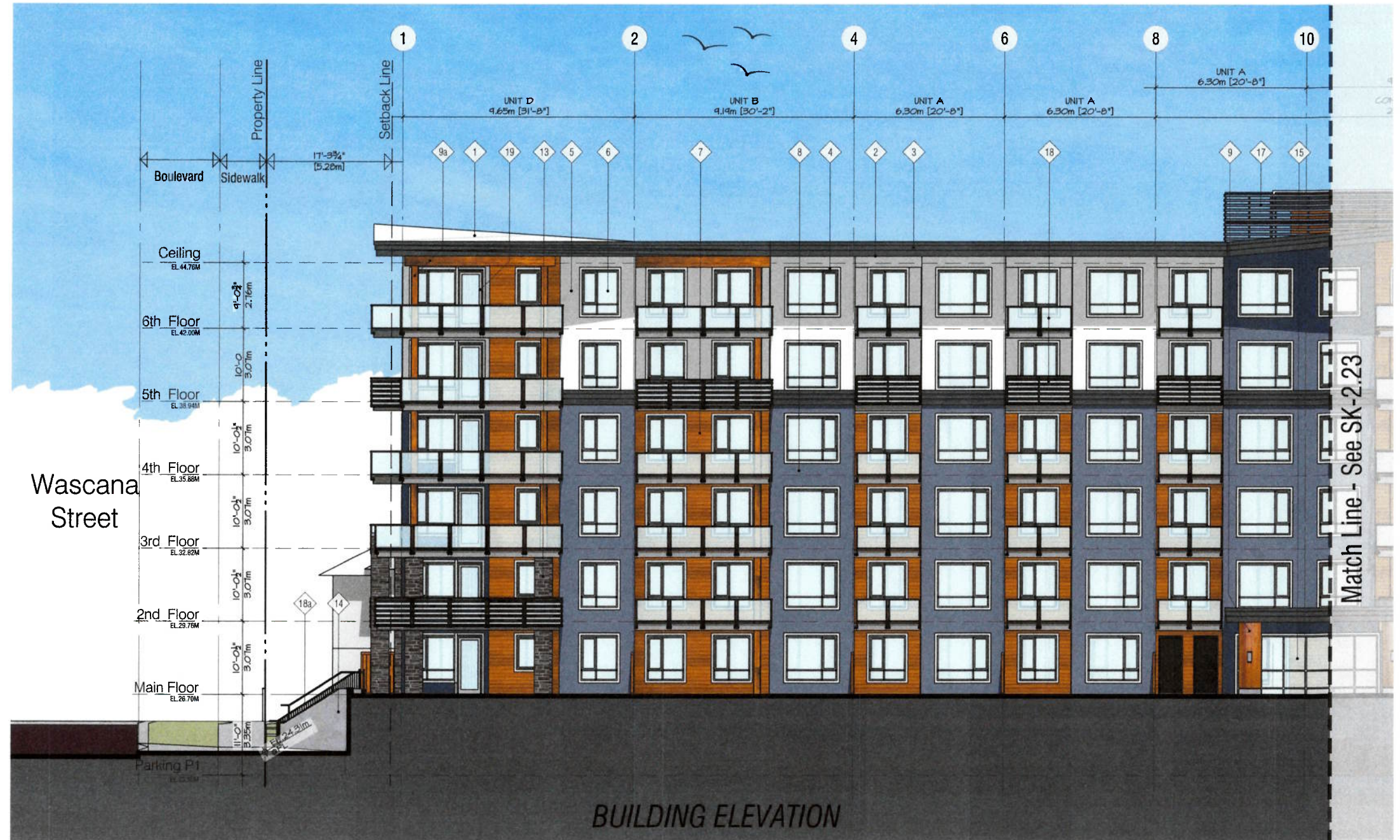
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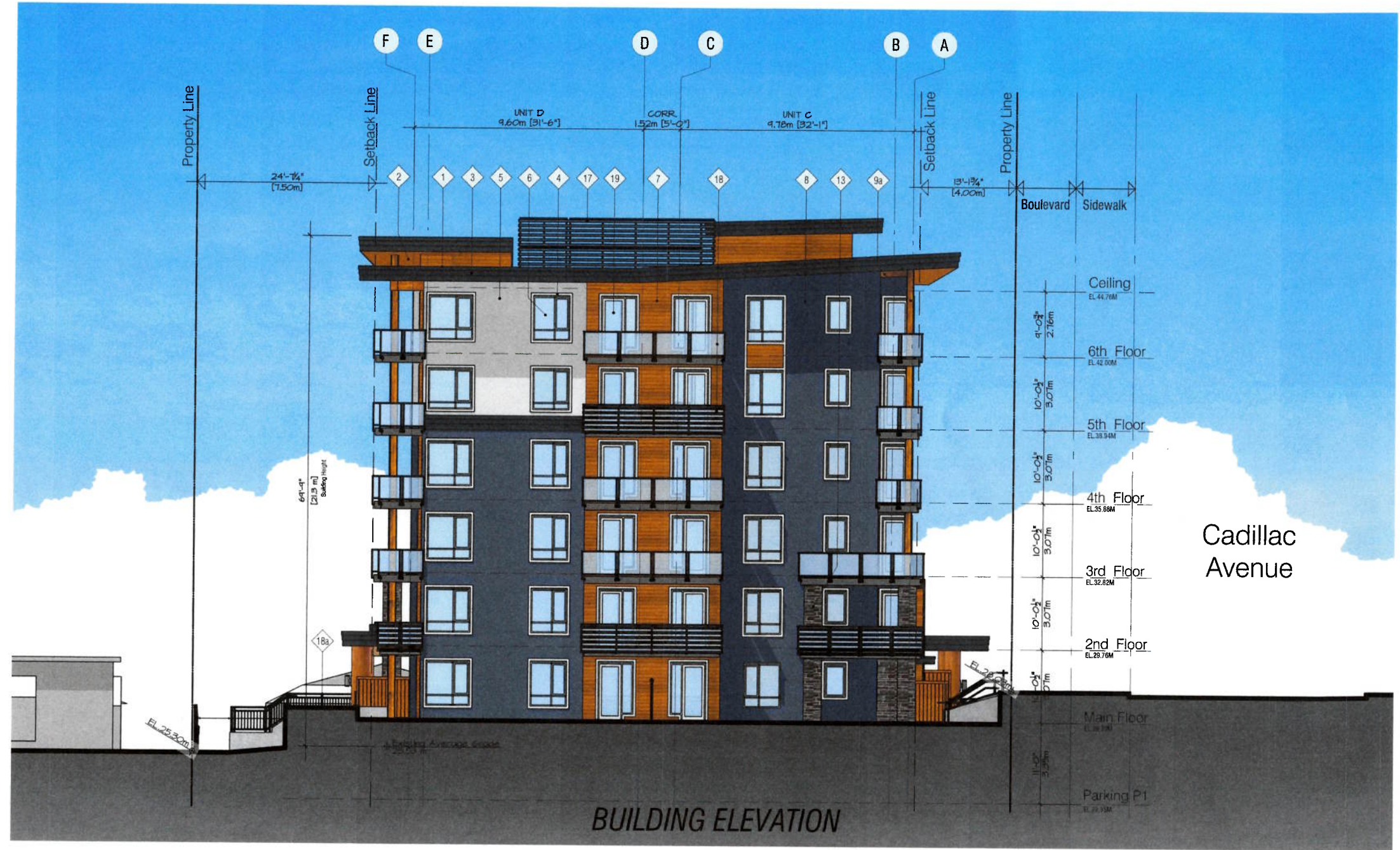
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Vinyl Frames, Double Glazed,
Colour: White Frames
- 20 **Entry Door - Fiberglass**
Wood Frames, Double Glazed,
Colour: Wood-like Finish frames
Colour: Faux-wood finish slab colour to match wood features.



ISSUED FOR DEVELOPMENT PERMIT

NOVEMBER 13, 2024

ALT SAANICH

for Aboriginal Land Trust

Civic Address: 81 Cadillac Ave - 3691 Wascana Street



1 Scale: 1:250

CONSULTANT TEAM

OWNER: Aboriginal Land Trust
 LANDSCAPE: ETA Landscape Architecture
 ARCHITECT: RLA Architects Inc.
 STRUCTURAL: ***
 MECHANICAL: ***
 ELECTRICAL: ***
 CIVIL: ***

Sheet Drawing Title

- L0.0 Cover Sheet
- L0.1 Landscape Notes & Schedules
- L0.2 Landscape Illustrative Plan
- L0.3 Landscape Precedent Images
- L1.0 Arborist Tree Management Plan
- L2.0 Offsite Plan
- L2.1 Civil Servicing Plan
- L4.0 Lighting Plan
- L5.0 Landscape Grading & Drainage Plan
- L5.1 Landscape Grading & Drainage Plan
- L6.1 Tree Plan
- L6.2 Planting Plan
- L6.3 Planting Plan
- L7.0 Soil Depth & Servicing Plan
- L9.1 Softscape Details
- L9.2 Hardscape Details
- L9.3 Site Furnishing Details

Revision

No. Date Revision Notes

Issue No.	Date	Issue Notes
A	2024-10-08	Issued for Coordination
B	2024-11-13	Issued for Development Permit

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Project

Alt Saanich

81 Cadillac Ave -
3691 Wascana Street

Drawing Title

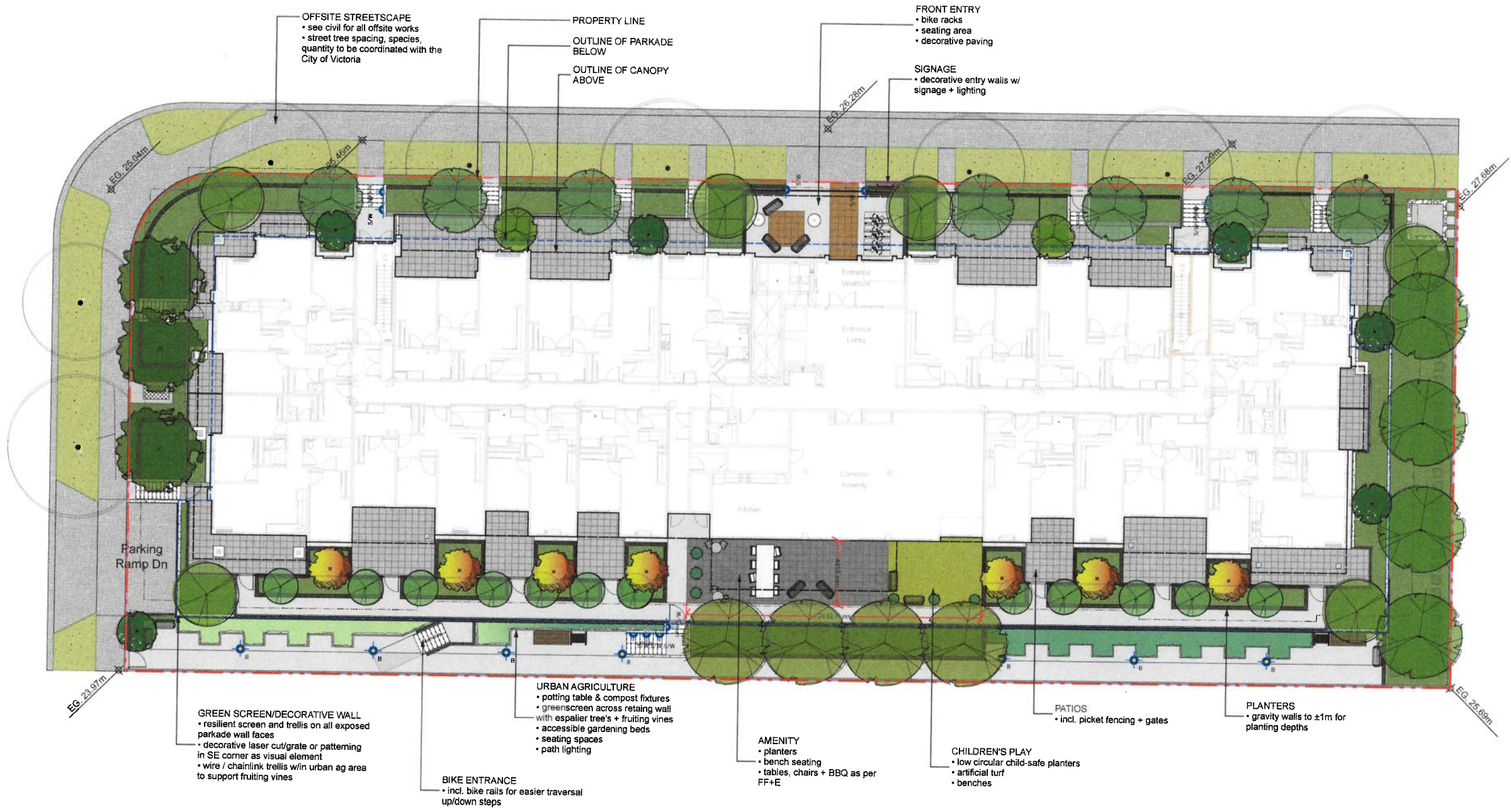
Cover Sheet

Legal

RECEIVED
 Nov 25, 2024
 PLANNING DEPT.
 DISTRICT OF SAANICH

Project Manager	Project ID
SS	22419
Drawn By	Scale
JM	1:250
Reviewed By	Drawing No.
SS	L0.0
	1 of 22

Revision No.	Date	Revision Notes
A	2024-10-08	Issued for Coordination
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Issue No.	Date	Issue Notes
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Project
Alt Saanich

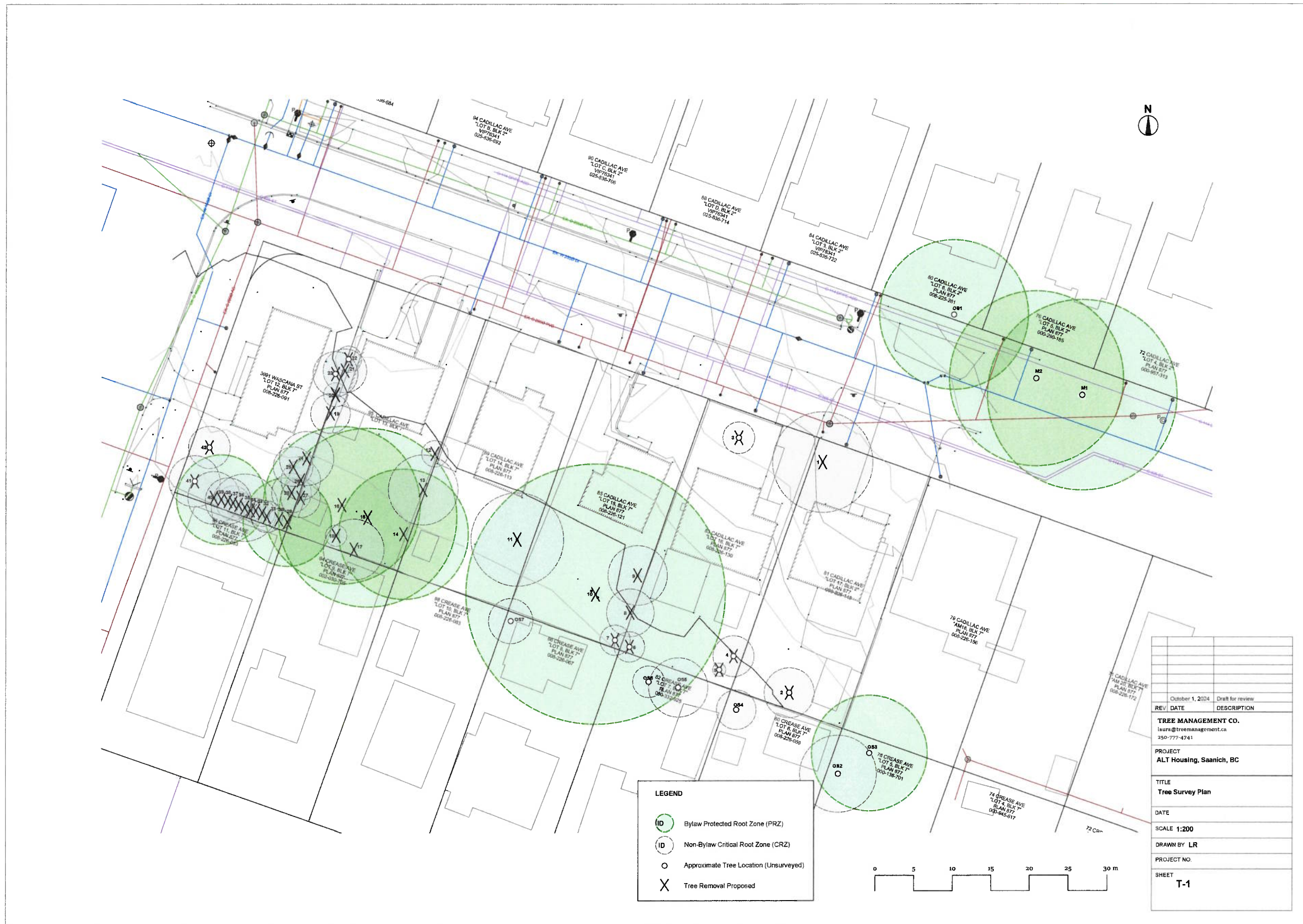
81 Cadillac Ave -
 3691 Wascana Street

Drawing Title
**Landscape
 Illustrative Plan**

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 Legal
 PLANNING DEPT.
 DISTRICT OF SAANICH

Project Manager SS	Project # 22419
Drawn By JM	Scale 1:150
Reviewed By SS	Drawing No. L0.2 3 of 22

Revision No.	Date	Revision Notes
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LEGEND

- ID Bylaw Protected Root Zone (PRZ)
- ID Non-Bylaw Critical Root Zone (CRZ)
- ID Approximate Tree Location (Unsurveyed)
- X Tree Removal Proposed



REV	DATE	DESCRIPTION
	October 1, 2024	Draft for review
TREE MANAGEMENT CO. tsura@treemanagement.ca 250-777-4741		
PROJECT ALT Housing, Saanich, BC		
TITLE Tree Survey Plan		
DATE SCALE 1:200		
DRAWN BY LR		
PROJECT NO.		
SHEET T-1		

Issue No.	Date	Issue Notes
A	2024-10-08	Issued for Coordination
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Project
Alt Saanich
 81 Cadillac Ave -
 3691 Wascana Street

Drawing Title
Arborist Tree Management Plan

RECEIVED
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 Legal PLANNING DEPT.
 DISTRICT OF SAANICH

Project Manager	Project #
SS	22419
Drawn By	Scale
JM	As Noted
Reviewed By	Drawing No.
SS	

L1.0
5 of 22

NOTE: For reference only. Refer to full Arborist report for additional information.

ONSITE PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
TREES							
Acp	2	Acer palmatum	Japanese maple	as shown	6cm cal/B&B	full/ bushy canopy; multiP	
Acpf	13	Acer circinatum 'Pacific Fire'	Pacific Fire vine maple	as shown	6cm cal/B&B	full/ bushy canopy	N, W
Ag	6	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Bnh	4	Betulus nigra 'Heritage'	heritage river birch	as shown	6cm cal/B&B	full/ bushy canopy; low-l	
Cbf	4	Carpinus betulus 'Fastigiata'	pyramidal European hornbeam	as shown	6cm cal/B&B	full/ bushy canopy	S
Cj	3	Cercidiphyllum japonicum	katsura	as shown	6cm cal/B&B	full/ bushy canopy	
Cja-1	7	Carpinus japonica	Japanese hornbeam	as shown	6cm cal/B&B		S
Ppv-1	7	Parrotia persica 'Vanessa'	Persian Ironwood	as shown	6cm cal/B&B	Full, bushy plants	S
Sm	6	Stewartia monadelph	orangebark stewartia	as shown	6cm cal/B&B	multistemmed	W, P, S
	0			as shown			

NOTES:

- ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
- SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST
S - VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE
- IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



Revision

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Issue

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Project
Alt Saanich

81 Cadilac Ave -
3691 Wascana Street

Drawing Title
Tree Plan



Project Manager	Project ID
SS	22419
Drawn By	Scale
JM	1:150
Reviewed By	Drawing No.
SS	L6.1
	12
	22