District of Saanich

 Current Planning
 t. 250-475-5471

 770 Vernon Ave.
 f. 250-475-5430

 Victoria BC V8X 2W7
 saanich.ca



December 3, 2024 Sent via email

Dear Mount View Colquitz Community Association:

**Re:** Application for Development:

Applicant: RLA ARCHITECTS
Site Address: 81 CADILLAC AVE
83 CADILLAC AVE

85 CADILLAC AVE 89 CADILLAC AVE 95 CADILLAC AVE 3691 WASCANA ST

Legal: LOT 17 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877

LOT 16 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 15 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 14 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 13 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877 LOT 12 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877

Folder No.: DPR01075

Description: CONSOLIDATION OF SIX RS-6 LOTS TO CONSTRUCT 104 MULTI

**FAMILY UNITS** 

The District of Saanich has received an application for a site within your Community Association area. The Planning Department is referring the proposed plans and relevant information to your Community Association for review and comment. Please note that requested variances may be subject to change based on the Planners detailed review of the file.

In a written letter or email to <a href="mailto:planning@saanich.ca">planning@saanich.ca</a>, please provide your comments and indicate if your Community Association:

<ul><li>□ Support the application</li><li>□ Object to the application</li><li>□ Have no position on the application</li></ul>	
Additional Comments:	

We would appreciate receiving your comments by December 30, 2024, so that they can be included in the package that will be forwarded to Council. If you cannot meet this timeframe, please email or call our office to indicate if and when you might be able to respond to the referral.

If you require further information about the proposed development please contact THOMAS KEMPSTER Planner at <a href="mailto:Thomas.kempster@saanich.ca">Thomas.kempster@saanich.ca</a>.

It is suggested that you periodically check our website, <a href="www.saanich.ca">www.saanich.ca</a> Permit and Development Tracker as any revised site plans for this application will be posted there.

Sincerely,

Planner

TK/lb

**District of Saanich Current Planning**770 Vernon Ave.
Victoria BC V8X 2W7

**t.** 250-475-5471 **f.** 250-475-5430 saanich.ca



# REFERRAL FORM - PRIORITY (NON-MARKET)

Application No.	Referral date: November 29, 2024					
☑ DPR01075	Comments due by: December 20, 2024					
	File Manager: THOMAS KEMPSTER					
□ DPA —	Applicant: RLA ARCHITECTS					
□ DVP –						
□ REZ –	Owners: BEADALL,	J; LE, THEM; I	METIVIER,	S; NGO, C;		
□ TUP –	RANKIN, J; WICKS, R					
	Site address: 81 CAD	ILLAC AVE				
	83 CADILLAC AVE					
	85 CADILLAC AVE					
	89 CADILLAC AVE					
	95 CADILLAC AVE					
	3691 WASCANA ST					
External Referrals:	Legal: LOT 17 BLOCK	7 SECTION 2	4 VICTORIA	A DISTRICT		
☐ Ministry of Transportation	PLAN 877					
	LOT 16 BLOCK 7 SECT					
	LOT 15 BLOCK 7 SECT					
	LOT 14 BLOCK 7 SECTION 24 VICTORIA DISTRICT PLAN 877					
	LOT 13 BLOCK 7 SECT					
	LOT 12 BLOCK 7 SECT	HON 24 VICT	ORIA DISTI	RICT PLAN 877		
Observatory (5 km radius)	Current Zone: RS-6	DEDLOVAS	NI-			
☑ BC Transit	Proposed Zone: RAPII	DEPLOYME	:NI	1.5-4		
☑ School District # 61	Current OCP designation: PRIMARY GROWTH AREA (UPTOWN CORE)					
☐ School District # 63	Required OCP amend		es 🗹 No			
☑ Community Association (MVCCA)	DP Area: SAANICH G	ENERAL	TRACE OF SELECTION			
☐ Peninsula Ag Advisory Comm (PAAC)						
Internal Referrals:	Land Comments	SDPA	Yes □	No x		
☑ Plan Check (LAP)		Heritage	Yes □	No x		
☑ Environment		ALR	Yes □	No x		
☑ Parks		FIDP	Yes □	No x		
☑ Development Services	Sign Posting Required	d: ☑Yes ☐ N	No			
☑ Housing	Project Description:					
☐ Planning Subdivision Tech	CONSOLIDATION OF					
☐ Police	NON-MARKET HOUSI	NG UNITS WIT	TH UNDER	GROUND		
☐ Committee	PARKING					
☐ Neighbouring Jurisdictions						
	Project Description Revi	ewed/Updated	Plann	ers Initials   TK		

Departments and Agencies:

Please complete. If no response is received by the above "Comments due by" date, it is understood that you have no objections. Send e-mail responses to <u>planning@saanich.ca</u>.

















PLANNING DEPT. DISTRICT OF SAANICH







June 21st, 10:00 A.M.



June 21st, 12:00 P.M.



June 21st, 2:00 P.M.



June 21st, 4:00 P.M.



March/Sept 21st, 10:00 A.M.



March/Sept 21st, 12:00 P.M.



March/Sept 21st, 2:00 P.M.



March/Sept 21st, 4:00 P.M.



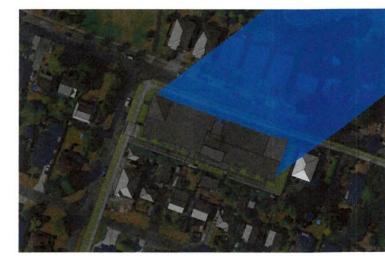
December 21st, 10:00 A.M.



December 21st, 12:00 P.M.



December 21st, 2:00 P.M.



December 21st, 4:00 P.M.

























SK-1.20
Aboriginal Land Trust

































- 1 Roofing
  All Roofs: IKO 2-Ply SBS Roofing, Frostone Grey
- Soffit: Feature Wood-pattern Fibre Cement Board Woodtone Summer Wheat with colour matched fasteners
- 3 Fascia & Bellyband: Dark High Density Fibre Cement Board Benjamin Moore 1603 "Graphite"
- Window Trim: Light High Density Fibre Cement Board, Smooth Benjamin Moore OC-57 "White Heron" Colour matched trims & screw fasteners
- \$\hat{5} Panel Siding: Light High Density Fibre Cement Board, Smooth Benjamin Moore 1459 "Metro Gray" Colour matched trims & screw fasteners
- 6 Windows Vinyl Light Vinyl Windows in White Frames Double Glazed & Low-e
- 7 Panel Siding: Wall Feature Wood-pattern Fibre Cement Board Woodtone Summer Wheat with colour matched fasteners
- 8 Panel Siding: Dark High Density Fibre Cement Board, Smooth Benjamin Moore 2126-30 "Anchor Gray" Colour matched trims & screw fasteners
- 9 Glulam Column Messmer's stain MS-604 "Oak Brown" to match wood like soffit
- (9a) Columns & Beams Wood-pattern Fibre Cement Board Woodtone to match wood like soffit
- 10 Metals Dark Sun Screens, Flashing, Gutters, Downspouts at Dark Cladding Coloured to match Gentek Slate
- (11) Metals Light Canopy Purlins, Picket Guard, Flashing Downspouts at Light Cladding Coloured to match Gentek Bright White
- Glazing Privacy Screens Pinhead Tempered Glass (Obscure) Colour match Gentek Bright White or Slate
- Stone Cladding Pangaea Natural Stone. Ledgestone, "Black Rundle" w/ 2" Medium Gray Mortar Joints
- Architectural Concrete Exposed Concrete or Elastomeric Paint Benjamin Moore Pigeon Gray 2133-50
- (15) Windows Aluminum Aluminum Frames, Double Glazed, Thermally Broken. Colour: Charcoal Frames
- 16 Lintels & Sills Sills: Precast Concrete. Clear Sealed Lintels: Concrete. Clear Sealed
- 17 Mechanical Screening Aluminum Fence Type Screen. Colour: Charcoal
- (18) Guardrails: Balcony: Fully Etched Satin Glazing on Aluminum railings, painted AAMA 2603 Standard Charcoal Akzo Nobel
- (18a) Guardrails & Handrails: Landscape & Exterior Stairs AAMA 2604 Standard Semi-Gloss Black Akzo Nobel
- 19 Patio Door Vinyl Vinyl Frames, Double Glazed, Colour: White Frames
- 20 Entry Door Fiberglass Wood Frames, Double Glazed, Colour: Wood-like Finish frames Colour: Faux-wood finish slab colour to match wood features.















PLANNING DEPT.
DISTRICT OF SAANICH

SK-2.20

- All Roofing
  All Roofs: IKO 2-Ply SBS Roofing,
  Frostone Grey
- 2 Soffit: Feature
  Wood-pattern Fibre Cement Board
  Woodtone Summer Wheat with colour
  matched fasteners
- Fascia & Bellyband: Dark
  High Density Fibre Cernent Board
  Benjamin Moore 1603 "Graphite"
- 4 Window Trim: Light
  High Density Fibre Cement Board, Smooth
  Benjamin Moore OC-57 "White Heron"
  Colour matched trims & screw fasteners
- 5 Panel Siding: Light
  High Density Fibre Cement Board, Smooth
  Benjamin Moore 1459 "Metro Gray"
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- 9a Columns & Beams
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- 10 Metals Dark
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  Downspouts at Dark Cladding
  Coloured to match Gentek Slate
- (1) Metals Light
  Canopy Purlins, Picket Guard, Flashing
  Downspouts at Light Cladding
  Coloured to match Gentek Bright White
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  Pinhead Tempered Glass (Obscure)
  Colour match Gentek Bright White or Slate
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- Architectural Concrete
  Exposed Concrete or Elastomeric Paint
  Benjamin Moore Pigeon Gray 2133-50
- Windows Aluminum
  Aluminum Frames, Double Glazed,
  Thermally Broken.
  Colour: Charcoal Frames
- 16 Lintels & Sills
  Sills: Precast Concrete. Clear Sealed
  Lintels: Concrete. Clear Sealed
- 17 Mechanical Screening
  Aluminum Fence Type Screen.
  Colour: Charcoal
- (18) Guardrails:
  Balcony: Fully Etched Satin Glazing on
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  AAMA 2603 Standard Charcoal Akzo Nobel
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  Landscape & Exterior Stairs
  AAMA 2604 Standard
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- 19 Patio Door Vinyl
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  Colour: White Frames
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  Wood Frames, Double Glazed,
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Nov 25,2024
PLANNING DEPT.
DISTRICT OF SAANICH

Aboriginal Land

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- 12 Glazing Privacy Screens
  Pinhead Tempered Glass (Obscure)
  Colour match Gentek Bright White or Slate
- Stone Cladding
  Pangaea Natural Stone.
  Ledgestone, "Black Rundle" w/ ½"
  Medium Gray Mortar Joints
- Architectural Concrete
  Exposed Concrete or Elastomeric Paint
  Benjamin Moore Pigeon Gray 2133-50
- 15 Windows Aluminum
  Aluminum Frames, Double Glazed,
  Thermally Broken.
  Colour: Charcoal Frames
- Lintels & Sills
  Sills: Precast Concrete. Clear Sealed
  Lintels: Concrete. Clear Sealed
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  Colour: Charcoal
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  Andscape & Exterior Stairs

  AAMA 2604 Standard

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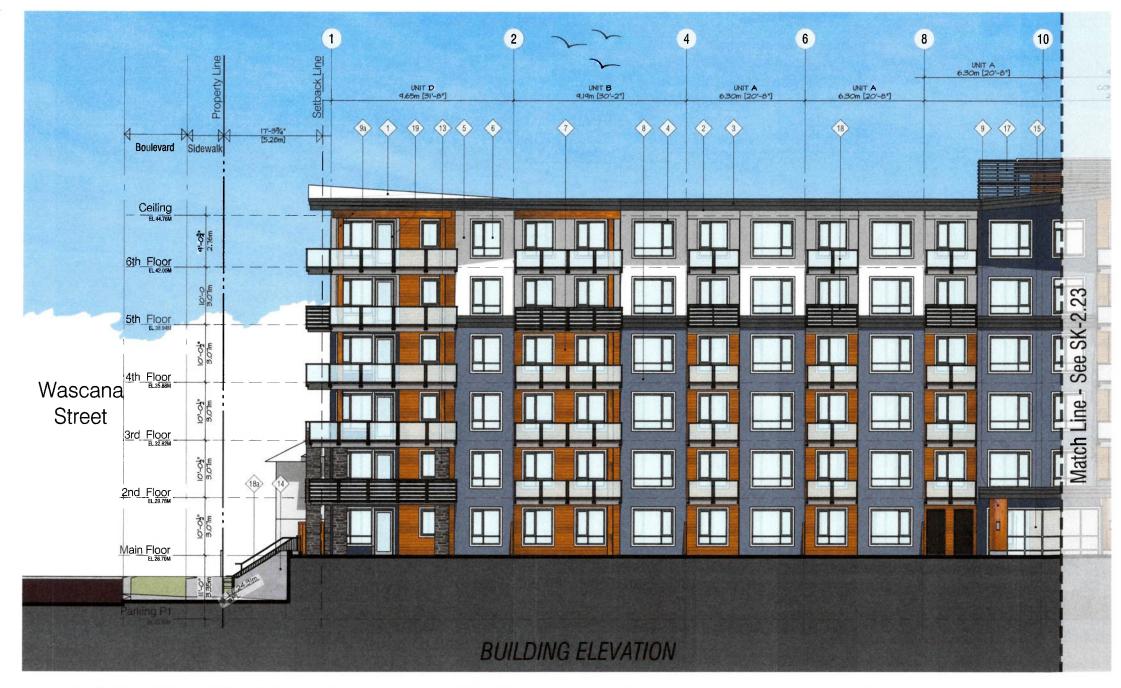








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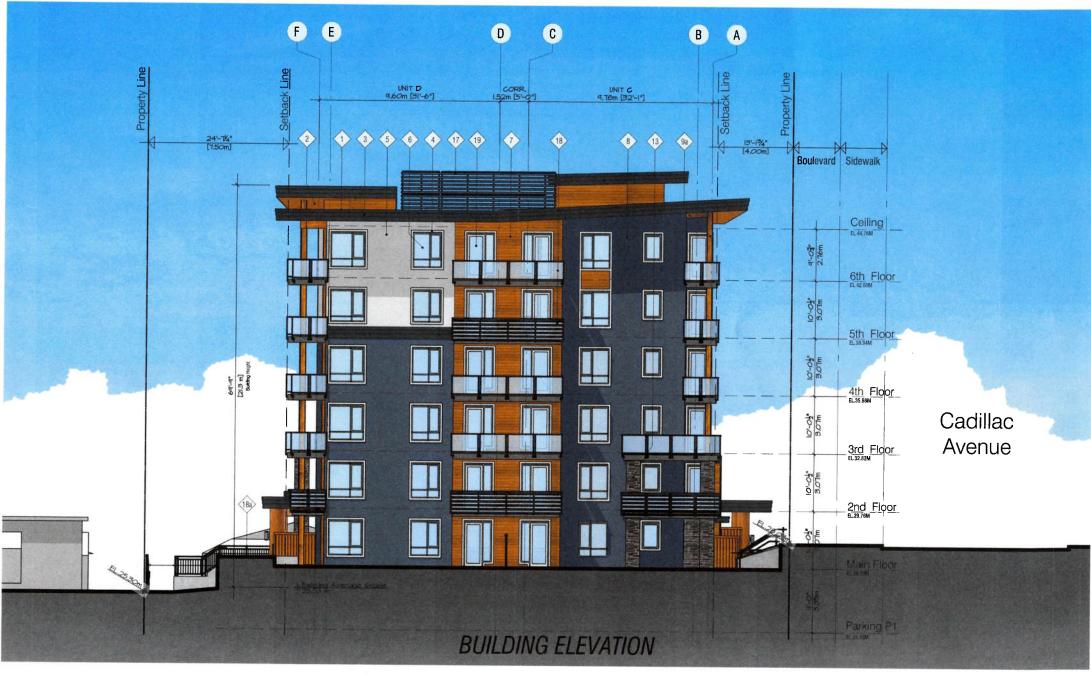








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Vancouver . BC . Canada . V6J 1H4

t | 604.683.1456 f | 604.683.1459 w | www.etala.ca

# **ISSUED FOR DEVELOPMENT PERMIT**

**NOVEMBER 13, 2024** 



vision Date 5

ate Revision Note

# **ALT SAANICH**

for Aboriginal Land Trust

CONSULTANT TEAM

OWNER: LANDSCAPE: ARCHITECT: Aboriginal Land Trust ETA Landscape Architecture RLA Architects Inc.

Civic Address: 81 Cadillac Ave - 3691 Wascana Street

STRUCTURAL: MECHANICAL: ELECTRICAL: CIVII: B 2024-11-13 IBBURG NO LEWINGON

L0.0 Cover Sheet
Landscape Notes & Schedules
L0.1 Landscape Notes & Schedules
L0.2 Landscape Precedent Images
L1.0 Arborist Tree Management Plan
L2.0 Offsite Plan
L2.1 Civil Servicing Plan
L4.0 Lighting Plan
L5.0 Landscape Grading & Drainage Plan
L5.1 Tree Plan
L6.1 Tree Plan
L6.2 Planting Plan
L6.3 Planting Plan
L7.0 Soil Depth & Servicing Plan

Softscape Details Hardscape Details Site Furnishing Details Professional 5

eta landsoape architecture

Vancouver . BC . Canada . V6J 1H4

t | 804,883.1456 f | 604,683.1459 w | www.etala.ca

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Proj

### Alt Saanich

81 Cadilac Ave -3691 Wascana Street

Drawing Title

Cover Sheet





ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM TO THE CURRENT EDITION OF THE CSLA LANDSCAPE STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANINC MATTER (DRY WEIGHT BASIS).

GROWING MEDIA SHALL VIRTUALLY FREE FROM SUBSOIL, WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR REPRODUCTIBLE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION CANADIAN LANDSCAPE STANDARD

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS, LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (1L IN TABLE T-6.3.5.1 OF THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARDS)

IT SHALL POSSESS THE FOLLOWING QUALITIES:

\*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm); 0-1%

"ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm); 0.5%
"SAND (LARGER THAN 0.05mm AND SMALLER THAN 2mm); 50-70%
"SILT (LARGER THAN 0.002mm AND SMALLER THAN 0.05mm); 10-25%

\*CLAY (SMALLER THAN 0.002mm): 0-20% \*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

### Acidity (pH): 6.0-7.0 as per CANADIAN LANDSCAPE STANDARDS

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION CANADIAN LANDSCAPE STANDARDS

subg	rade where the olf drains rapidly	where the subsoil drains poorly
LARGE TREE	750mm(30")	915mm(36")
TREES (10m3 PER TREE)	750mm (30")	915mm(36")
LARGE SHRUBS	600mm(24")	600-900mm(24"-36")
SMALL SHRUBS	450mm(18")	450-500mm(18"-20")
LAWN-IRRIGATED	150mm(6")	150mm(6")
LAWN-NOT IRRIGATED	150mm(6")	225mm(9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC, OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF MINISTERS OF THE ENVIRONMENT (CCME).

SOIL IS NOT TO BE BLOWN IN FOR INSTALLATION.

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO DELIVERY TO SITE.

BEDS TO HAVE 3" MULCH LAYER (after settling) CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS **PRIOR** TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN

### SITE INSPECTION

EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO THE

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES PRIOR TO THE

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO

ALL PRUNING TO BE IN ACCORDANCE WITH THE CSLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL SOFTSCAPE AREAS ON SLAB TO INCLUDE MIN. 75MM GRAVEL DRAINAGE LAYERS IN

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE BEEN FLANTS THAI ENABLE BIHD-FINENDLY HABITAL CONSERVATION AND PHOMOTION HAVE BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS GROUPED IN NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS. THESE LAYERS WILL BE VARIED WITH A DIVERSITY OF TEXTURES AND DENSITIES THAT ATTRACTS AND PROTECTS MANY BIRD SPECIES. SPECIFIC LOCAL AND NON-INVASIVE PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR- ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPENDALING.

GENERAL NOTES

1. DO NOT SCALE DIRECTLY FROM DRAWINGS.
2. WHERE PLANS AND SPECIFICATIONS ARE FOUND TO BE IN CONFLICT, OR WHERE VARIOUS ITEMS OF WORK ARE SEEN TO BE IN CONFLICT, NOTIFY THE CONSULTANT IN WRITING IMMEDIATELY PRIOR TO COMMENCING CONSTRUCTION.
3. THE CONTRACTOR IS REQUIRED TO INVESTIGATE AND VERIFY THE ALIGNMENT AND LOCATION OF ALL EXISTING SERVICE AND ALL EXISTING LANDSCAPE FEATURES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
4. THE CONTRACTOR SHOULD PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCING CONSTRUCT AND ALL EXISTING SERVICE SHOULD PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCEMENT OF LANDSCAPE WORKS. MOCK UPS MAY BE REQUIRED AS NOTED/REQUESTED 5. DIMENSIONS ON THIS DRAWING ARE IN MM, UNLESS OTHERWISE STATED AS REQUIRED BY THE CONTRACTOR SHOULD PROVIDE SHOP DRAWINGS FOR THE PROPERTY OF LANDSCAPE WORKS. MOCK UPS MAY BE REQUIRED AS NOTED/REQUESTED 5. DIMENSIONS ON THIS DRAWING ARE IN MM, UNLESS OTHERWISE STATED AS REQUIRED BY THE

OTTY.

6. THESE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH CORRESPONDING ARCHITECTURE AND CIVIL ENGINEER'S DRAWINGS.

7. VERIFY LOCATION OF ALL UNDERGROUND STRUCTURES INCLUDING, BUT NOT LIMITED TO, VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUITS AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH CORRESPONDING WET AND DRY ENGINEER'S AND CIVIL DRAWINGS.

8.ALL VERICULAR ROADS SUB LAYERS TO BE READ FROM GEOTECHNICAL SPECIFICATIONS.

9. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HIS/HER MEANS AND METHODS TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND METHODS TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ADDITIONAL COST TO THE OWNER.

10. FOR PHASED PROJECT, A SOIL TEST SUBMITTAL WILL BE REQUIRED AT EACH PHASE AND THE TEST IS TO BE WITHIN 3 WEEKS OF THE DELIVERY TO SITE.

### PLANTING NOTES- REFER TO CURRENT NOTES LIST

PLANTING NOTES. REFER TO CURRENT NOTES LIST.

1 THE CONTRACTOR SHALL INSTALL TREE PROTECTION FENCE AS INDICATED ON THE DRAWINGS OR ARBORIST REPORT IN COMPLIANCE WITH ALL MUNICIPAL AND PROFESSIONAL REQUIREMENTS.

2.TREE PROTECTION TO REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

3.DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, EXCAVATED MATERIAL OR EQUIPMENT WITHIN THEE PROTECTION ZONE.

4.FINISH GRADING SHALL MEET EXISTING GRADE OF PROTECTED TREES 0.5M OR (20 INCHES) BEYOND THE DRIPLINE.

5.EXACT LOCATIONS OF PROPOSED PLANT MATERIALS SHALL BE FLAGGED / STALLED AND APPROVED BY LANDSCAPE ARCHITECT CONSULTANT ON SITE PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS ON SITE.

6.LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT UNSUITABLE MATERIAL DELIVERED OR INSTALLED ON SITE WITHOUT PRIOR REVIEW AND APPROVED ON SITE WITHOUT PRIOR REVIEW AND APPROVED ON THE TREET OF THE SITE OF THE SITE OF THE SITE OF THE SOL QUALITY CRITERIA RELATIVE TO — AGRICULTURE BY AN CERTIFIED SOLI. NUTRIENT TESTING LABORATORY FOR APPROVAL BY THE LANDSCAPE ARCHITECT THE REPORT SHALL INCLUDE REDOMMENDATIONS FOR PREPARATION OF GROWING MEDIUM TO MEET THE CSLA AAPC & ONLA ACCORDING.

ACPP.

8.EXCESS SOIL FROM LANDSCAPE GRADING IS TO BE REMOVED AND DISPOSED OF OFFSITE BY
THE CONTRACTOR IN A LOCATION APPROVED BY THE DEPARTMENTAL REPRESENTATIVE.

9.REFER TO PLANT SCHEDULE FOR THE LIST OF SPECIES, INCLUDING SIZE AND FORMAND OTHER

SRETER TO PLANT SCHEDULE FOR THE LIST OF SPECIES, INCLUDING SIZE AND FORM AND OTHER SPECIFIED INFO

10.CONTRACTOR TO OBTAIN APPROVAL OF LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OF PLANT SPECIES OR SIZES.

11. ALL TREES MUST BE GUYED OR STAKED AS PER DETAILS AND SPECIFICATIONS.

12. THE CONTRACTOR SHALL PROVIDE ROOT BARRIERS FOR ALL TREES LOCATED WITHIN TWO

(2.0) METERS OF PAYING OR UNDERGROUND UTILITIES.

13. THE CONTRACTOR SHALL MANUALLY IRRIGATE OR ACTIVATE IRRIGATION SYSTEMS NECESSARY TO WATER AND MAINTAIN PROPOSED AND EXISTING VEGETATION.

14. FOR PLANTING SOIL DEPTH, FOLLOW THE CITY'S RECOMMENDATION AND REQUIREMENTS ONLY IF THE CITY'S REQUIREMENTS FOR SOIL DEPTH EXCEEDS CSLO OR BCSLA STANDARDS AND REQUIREMENTS.

15. A SHOP DRAWING INDICATING THE SOIL DEPTH TO BE PROVIDED FOR THE LANDSCAPE REVIEW PRIOR TO INSTALLATION.

16. LIGHT-WEIGHT-BLOWN-IN SOIL WILL NOT BE ACCEPTED UNLESS IT IS REQUIRED BY STRUCTURAL ENGINEER.

STRUCTURAL ENGINEER. 17. A LANDSCAPE ARCHITECT SHALL BE ON SITE AT SOIL DELIVERY DATE.

17. A LANDSCAPE A FURNITURE NOTES

HARD LANDSCAPE & FURNITURE NOTES

1. PROVIDE EXPANSION JOINTS ALIGNED WITH PROPOSED PAVING PATTERN AND PAVING MODULES. THE SPACING OF EXPANSION JOINTS TO STRUCTURAL ENGINEERS RECOMMENDATION.

2. UNLESS SPECIFICALLY DIMENSIONED SITE FURNITURE LOCATIONS ON DRAWINGS ARE APPROXIMATE AND MUST BE APPROVED ON SITE BY THE LANDSCAPE ARCHITECT BEFORE UNDERTRING INSTALLATION.

3. CONTRACTOR TO SUBMIT ENLARGED DETAILED PLANS AND SHOP DRAWINGS FOR ALL HARDSCAPE MATERIAL PAVING. CLADDING AND CAPPING SHOWING PATTERNS, EXACT DIMENSIONS AND ARRANGEMENT FOR LANDSCAPE ARCHITECTS APPROVAL.

4. ALL PAVING MATERIALS COLORS AND FINISHES ARE AS INDICATED ON DRAWINGS AND SPECIFICATIONS OR AS APPROVED BY THE LIDD CAPE ON THE WITH MYCHIC EVER IS LESS) MOCK-UP FOR ALL HARDSCAPE MATERIALS, AS SPECIFIED ON DRAWINGS AND SPECIFICATIONS OR AS APPROVED BY THE LUDD CAPE ON TRAWINGS AND SPECIFICATIONS OR AN APPROVED BY THE LUDD CAPE ON TRAWINGS AND SPECIFICATIONS SETS FOR LUND ACRE ARCHITECTS APPROVAL TO THE OWN THE ARCHITECT ON TRAWINGS AND SPECIFICATIONS SETS FOR LANDSCAPE ARCHITECTS. APPROVAL LATION ON SITE. APPROVED MOCK-UPS COULD STAY AS PART OF THE OVERALL HARDSCAPE INSTALLATION ON SITE. APPROVED SPECIFICATIONS OR AS APPROVED BY THE AND SOME INSTALLATION ON SITE. APPROVED SPECIFICATIONS OR AS APPROVED BY THE AND SOME INSTALLATION ON SITE. APPROVED SPECIFICATIONS OR AS APPROVED BY THE AND SOME INSTALLATION ON DEAL STALLATION AND FIXISHES AND BINDSCAPE ARCHITECT.

7. CONTRACTOR TO FOLLOW MANUFACTURER RECOMMENDATIONS FOR INSTALLATION AND FIXATION OF ALL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT. SAPPROVAL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT. SAPPROVAL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT. SAPPROVAL SITE FURNITURE AND TO SUBMIT SHOP DRAWINGS FOR LANDSCAPE ARCHITECT.

SITE LAYOUT & GRADING NOTES

1.ALL PROPOSED DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.

. SITE LAYOUT DIMENSIONS ARE IN M. UNLESS OTHERWISE INDICATED. . ALL PROPOSED LEVELS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH

CONSTRUCTION.

4.STAIRS NUMBERS AND RISERS HEIGHT SHOULD BE VERIFIED ON SITE AND ADJUSTED AS SEEN NECESSARY AND AS APPROVED BY ENGINEER.

5.CONTRACTOR TO CROSS CHECK ALL EXTERNAL WORKS LEVELS WITH EXISTING BUILDINGS. ANY DISCREPANCIES TO BE SUBMITTED FOR THE LANDSCAPE ARCHITECT'S FEEDBACK.

6.DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS.

7.FOR LAYING OF ROADS AND CAR PARKING AND ASSOCIATED DRAINAGE REFER TO ENGINEER'S DRAWINGS AND SPECIFICATIONS.

8.THE FINISH GRADING OF PLANTING AREAS SHALL BE 50MM BELOW ADJACENT CURB OR PAVEMENT.

IRRIGATION NOTES

1. HIGH EFFICIENCY IRRIGATION SYSTEM TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING, BY LANDSCAPE CONTRACTOR.

2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB CONTRACTOR.

2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB CONTRACTOR.

2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB CONTRACTOR.

2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE, TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE, TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE BOOKED, ETC. ALVE BOXED, ETC. ALVE BOXED, ETC. ALVE BOXED, ETC. ALVE BOXED, AND INSTALLATION AND AS A BUILT DRAWING PIZE.

3. IRRIGATION STORE AS A SECOND AND INSTALLATION SHALL BE IN ACCORDANCE WITH CANADIAN AND SCAPE SYSTEMES. SIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH CANADIAN AND SCAPE SYSTEMES. AND BE A MEMBER IN GOOD STANDING OF THE INSPACE (IRRIGATION INDUSTRY ASSOCIATION OF BOXED AND BE A MEMBER IN GOOD STANDING OF THE INSPACE (IRRIGATION INDUSTRY ASSOCIATION OF BOXED AND BE A MEMBER IN GOOD STANDING OF THE INSPACE (IRRIGATION INDUSTRY ASSOCIATION OF BOXED AND A SECONDAR AND TRADES.

5. IRRIGATION STUD-OUTS AND HOSE BIBS PER MECHANICAL PLANS.

7. SEPARATE ZONE AND REQUIRED SLEEVES TO BE PROVIDED FOR SPRAY IRRIGATION OF OFFSITE AREAS, PER CITY STANDARDS.

8. ALL IRRIGATION VALVE BOXES TO BE QUIPPED WITH QUICK COUPLERS.

9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS.

10. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS

SPECIFIED POLIS MELL PROVIDE WHILLEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS.

10. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.

11. PROVIDE COPIES OF INSTRUCTION MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY, AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.

### LANDSCAPE LIGHTING NOTES

LANDSCAPE LIGHTING NOTES

1.ALL LIGHTING POINTS SHOWN ON LANDSCAPE PLANS ARE FOR REFERENCE ONLY. FOR ALL LIGHTING FIXTURES AND TYPES, REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS.

2.CONTRACTOR TO SUBMIT SAMPLES OF ALL LIGHT FIXTURES WITH REFERENCE SPECS AND PHOTOMETRIC'S TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION ON SITE.

3.FOR STREET LIGHTING LOCATIONS AND TYPES REFER TO CIVIL DRAWINGS AND SPECIFICATIONS.

4.LIGHTING SPECS TO BE COORDINATED AND REVIEWED WITH ELECTRICAL PRIOR TO CONSTRUCTION. CONSTRUCTION. S.STREET TREES AND FURNISHINGS TO BE LOCATED AT ACCEPTABLE OFFSITE- REFER TO LAYOUT DRAWINGS AND MUNICIPAL STANDARDS.

### OFFSITE TREE LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
TREES	3						***************************************
ST-2	8	Latin Name	Common Name	as shown			Comment 3
LAWN							
		Non-Netted, grown on sand					

Note: All final street tree species, spacing and sizing to be coordinated with the City of Victoria. All current notes, symbols, quantities are placeholders

### ONSITE PLANT LIST

	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
TREES							
Acp	2	Acer palmatum	Japanese maple	as shown	6cm cal/B&B	full/ bushy canopy; m	ultiP
Acpf	13	Acer circinatum 'Pacific Fire'	Pacific Fire vine maple	as shown	6cm cal/B&B	full/ bushy canopy	N, W
Ag	6	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
Bnh	4	Betulus nigra 'Heritage'	heritage river birch	as shown	6cm cal/B&B	full/ bushy canopy; lo	w-l
Cbf	4	Carpinus betulus 'Fastigiata'	pyramidal European hornbear	as shown	6cm cal/B&B	full/ bushy canopy	S
Cį	3	Cercidiphyllum japonicum	katsura	as shown	6cm cal/B&B	full/ bushy canopy	
Cja-1	7	Carpinus japonica	Japanese hornbeam	as shown	6cm cal/B&B		S
Ppv-1	7	Parrotia persica 'Vanessa'	Persian ironwood	as shown	6cm cal/B&B	Full, bushy plants	S
Sm	6	Stewartia monadelpha	orangebark stewartia	as shown	6cm cal/B&B	multistemmed	W, P, S
****	0			as shown			
		OUNDCOVERS / PERENNIALS					
Adf	3	Actinidia deliciosa	kiwi fruit (female)		.83 #2 cont./ staked	full/ bushy plants	B, P, Ed
Adm	3	Actinidia deliciosa	kiwi fruit (male)		.83 #2 cont./ staked	full/ bushy plants	P
Auu	100	Arctostaphylos uva-ursi	kinnikinick		0.3 #1 cont.	full/ bushy plants	N, E, B, P
Br	8	Berberis thunbergii	Japanese Barberry		0.3 #3 cont.	full/ bushy plants	P
Bs	70	Blechnum spicant	deer fern		0.3 #2 cont.	full/ bushy plants	N
Car	8	Clematis armandii 'Apple Blossom'	Apple Blossom clematis		.05 #2 cont./ staked	full/ bushy plants	E, P
Cmv-1	52	Carex morrowii 'Variegata'	variegated Japanese sedge		.51 #1 cont.	full/ bushy plants	Ε
Cod	34	Cotoneaster dammeri	bearberry cotoneaster	0.	.76 #2 cont.	full/ bushy plants	E, B, P
Coj	7	Corylus 'Jefferson'	Jefferson hazelnut	3.	.66 6cm cal/B&B	full/ bushy canopy	Ed
Csf	47	Cornus sericea 'Flaviramea'	yellow twig dogwood		#5 cont.	full/ bushy plants	N, B, P, W
Ct	23	Choisya ternata	Mexican mock orange		.07 #3 cont.	full/ bushy plants	E, P
Dfo	64	Dicentra formosa	pacific bleeding heart	0.	.61 #2 cont.	full/ bushy plants	P
Do	30	Daphne odora	fragrant daphne	0.	.61 #2 cont.	full/ bushy plants	E, W
Eac	3	Euonymus alatus 'Compactus'	dwarf burning bush	1.	.68 #5 cont.	full/ bushy plants	B, P
Fc	48	Fragaris chiloensis	coastal strawberry		SP 4	full/ bushy plants	Ed, P, B
Gs	13	Gaultheria shallon	salai	0.	.61 #2 cont.	full/ bushy plants	N, E, B, P, Ed
He	12	Heuchera 'Plum Pudding'	coral bells	(	0.3 #1 cont.	full/ bushy plants	P
HI	5	Humulus lupulus	Hops vine	0.	76 #3 cont.	full/ bushy plants	
Hq	6	Hydrangea quercifolia	oakleaf hydrangea	1.	52 #3 cont.	full/ bushy plants	P
Md-E	13	Malus domestica	espalier apple	3.	35 5cm cal/B&B	ESPALIER: full/ bushy	caB, P, Ed, S
Mis	40	Miscanthus sinensis 'Morning Light'	Morning Light maiden grass	0.	76 #3 cont.	full/ bushy plants	B, W
Pbl	32	Perovskia 'Blue Spire'	Russian sage	0.	69 #2 cont.	full/ bushy plants	P
Pm	91	Polystichum munitum	sword fern	0.	76 #3 cont.	full/ bushy plants	N, E
Rbb	21	Rhododendron 'Bruce Brechtbill'	Bruce Brechtbill rhododendro	0.	76 #5 cont.	full/ bushy plants	E, P
Rr	22	Rosa rugosa	rugosa rose	0.	91 #2 cont.	full/ bushy plants	B, P
Rra-1	38	Rhododendron 'Ramapo'	Ramapo rhododendron	(	0.5 #2 cont.	full/ bushy plants	E, P
Rwm	20	Rosa 'White Meidiland'	shrub rose	1.	07 #2 cont.	full/ bushy plants	
Sa	6	Symphoricarpos albus	snowberry	0.	76 #5 cont.	full/ bushy plants	N, B, P, W
Sh	100	Sarcococca hookeriana var. humilis	dwarf sweet box	0.	46 #2 cont.	full/ bushy plants	E, B, P
Vc	13	Vaccinium corymbosum	blueberry	0.	76 #5 cont.	full/ bushy plants	B, P, Ed
Vd	35	Viburnum davidii	David's viburnum	1.	07 #3 cont.	full, bushy plants	E, B, P
VIc	4	Vitis labrusca 'Concord'	Concord grape	4.	57 #2 cont./ staked	full/ bushy plants	P, B, Ed
Vo-1	19	Vaccinium ovatum 'Scarlet ovation'	evergreen huckleberry	0.	76 #5 cont. 0	full/ bushy plants	N, E, B, P
	0						

1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON

3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W S - VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE

4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

### MATERIALS AND FURNISHINGS

D	DETAIL	DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER	QTY	NOTES
iT!	E FURNIS	SHINGS						7	
1	1/L9.3	Benches	1490 x 745 x 1020 mm	Varies, TBD	Ipe + Steel	A59MVW3S2	Frances Andrews	10	Powder coat
2	-	Planters	915 dia. x 460 mm	Varies, TBD	Steel	-	C3	1	Powder coat
3_	-	Garden Table + storage	2440 x 915 x 915 mm	Natural	WRC	-	Custom		Latching doors
4	4/L9.3	Dual-Batch Rolling Composter	711 x 660 x 915 mm	Black	PPE + Gal, Steel	CT106	Lee Valley		
5	5/L9.3	Bike Rack	1005 x 600 x 60 mm	Black	Steel	SL505 - Lotlimit	mmcite		3
6	6/L9.3	Bike Access Ramp					Saris Infrastructure		
AN'	TERIALS								
11		Pavers Type 1	457 x 457 x 51 mm	Winter Sky	NewStone	Manhattan	NewStone	-	Patio
12		Pavers Type 2	457 x 457 x 51 mm	Charcoal	NewStone	Manhattan	NewStone	-	Amenity
13		Pavers Type 3	457 x 457 x 51 mm	Espresso	NewStone	Manhattan	NewStone	-	Lobby Entrance
14	3/L13.0	Retaining Wall	240 x 457 x 305 mm	Charcoal	Smooth Stone	Keystone Compac	Barkman		C/w coping
15	-	Gravity Wall	178 x 1000 x 350 mm	Natural/Graphite	Random	Keystone Linear	Barkman	-	C/w coping
16_		Artificial Turf		Lime + Emerald		Garden Pro	Precision Greens	±30m2	C/w Shock Pad Flo
17		Path Gravel	≤10mm						Clear crushed, loca
18		CIP Sidewalk	100mm thick	Natural	1.2m sq. sawcut ctrl in	ts			
19		Pavers Type 4	610 x 610 x 51 mm	Natural	NewStone	Manhattan	NewStone	-	Maint. path
EN	ICING		Parada de Santa de Cara						
1		Aluminum Picket	915mm [1066 guards]	Black	Aluminum, pwdr coat			-	c/w 1066 gates
2		Privacy Fence	1800 w/ 150x150 mm posts	Natural	WRC			-	c/w upper trellis
3		Privacy Screen [Arch]							As per arch
4		Wall Trellis	Varies		HDG Wire				Tro por aron
5		Decorative Trellis Panels	Varies		Weathering steel				
lGI	HTING FE	ATURES		1	L		1		U-re-
1	-/L	Step Light	-	-	-	-	1-	10	As per Elec.
2	-/L	Light Bollard	-	-	-	-	-		As per Elec.

LANDSCAPE PLANS TAKE PRECEDENCE.

2024-10-08 Issued for Coordinate B 2024-11 13 Issued für Development Permit

eta landscape architecture

Vancouver , BC , Canada , V6J 1H

t | 604.683.1456 f | 604.683.1459

Alt Saanich

81 Cadilac Ave -3691 Wascana Street

**Landscape Notes** & Schedules

RECEIVED

Nov 25,2024 PLANNING DEPT. DISTRICT OF SAANICH

22419 L0.1

 
 No.
 Date
 Issue Notes

 A
 2024-10-08
 Issued for Coordination
 B 2024-11-13 Issued for Development Permit

eta landsoape architecture

1690 West 2nd Avenue Vancouver , BC . Canada . VSJ 1H4

t | 604.683.1456 f | 604.683.1459 w | www.etala.ca

### Alt Saanich

81 Cadilac Ave -3691 Wascana Street

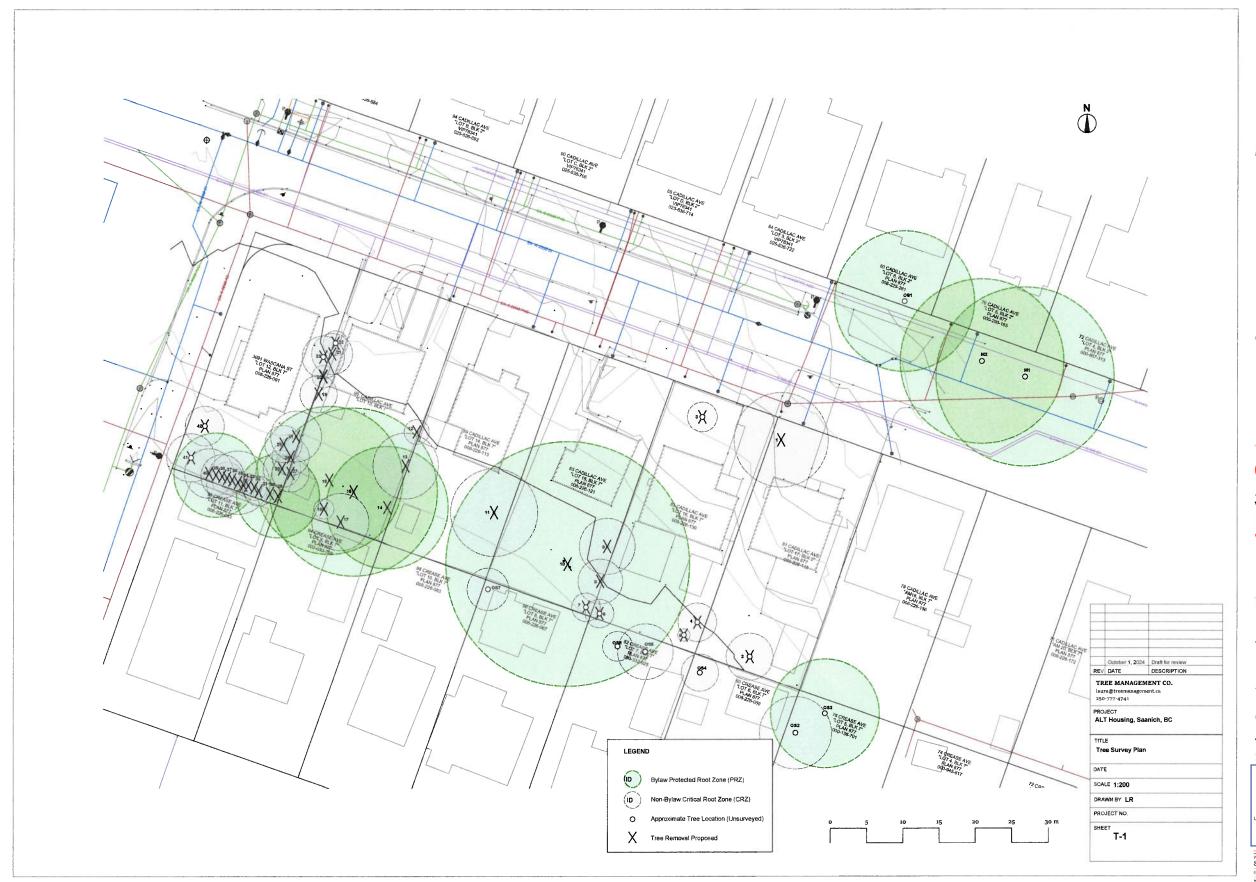
Drawing Title

### Landscape

### Illustrative Plan



22419 1:150 L0.2



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Alt Saanich

81 Cadilac Ave -3691 Wascana Street

Drawing Title

**Arborist Tree** Management Plan

**RECEIVED** 

Nov 25,2024 PLANNING DEPT. DISTRICT OF SAANICH

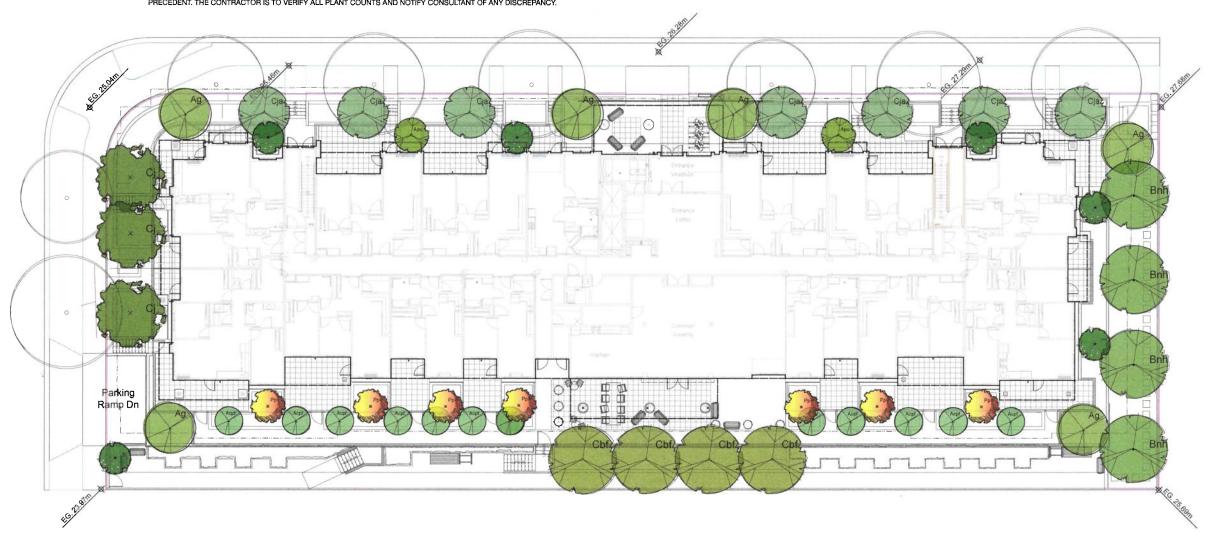
As Noted L1.0

### ONSITE PLANT LIST

ID TREES	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
Acp	2	Acer palmatum	Japanese maple	as shown	6cm cal/B&B	full/ bushy canopy; m	nultiP
Acpf	13	Acer circinatum 'Pacific Fire'	Pacific Fire vine maple	as shown	6cm cal/B&B	full/ bushy canopy	N, W
Ag	6	Acer griseum	paperbark maple	as shown	6cm cal/B&B	full/ bushy canopy	W, P, S
3nh	4	Betulus nigra 'Herltage'	heritage river birch	as shown	6cm cal/B&B	full/ bushy canopy; lo	w-l
bf	4	Carpinus betulus 'Fastigiata'	pyramidal European hornbea	as shown	6cm cal/B&B	full/ bushy canopy	S
>i	3	Cercidiphyllum japonicum	katsura	as shown	6cm cal/B&B	full/ bushy canopy	
Cja-1	7	Carpinus japonica	Japanese hornbeam	as shown	6cm cal/B&B		S
pv-1	7	Parrotla persica 'Vanessa'	Persian ironwood	as shown	6cm cal/B&B	Full, bushy plants	S
Sm	6	Stewartia monadelpha	orangebark stewartia	as shown	6cm cal/B&B	multistemmed	W, P, S
				ea abaum			

### NOTES:

- 1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
  2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- 3 N NATIVE E EVERGREEN B BIRD FRIENDLY P POLLINATOR Ed EDIBLE W WINTER INTEREST S VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE
- 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



2024-11-13 Issued for Development Permit

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Alt Saanich

81 Cadilac Ave -3691 Wascana Street

Drawing Title

Tree Plan

# **RECEIVED**

Nov 25,2024

Light PLANNING DEPT.

DISTRICT OF SAANICH

22419